



**Township of Southgate
Committee of Adjustment Agenda**

July 27, 2022

9:00 AM

Electronic Participation

Pages

1. Electronic Access Information

If you wish to listen to the Committee of Adjustment Hearing electronically please wait until the start time of the meeting, then dial in with your phone using the following information:

Phone Number: **1 (647) 497-9373**

Access Code: **442 - 563 - 645 #**

2. Call to Order

3. Confirmation of Agenda

Be it resolved that the Committee confirm the agenda as presented.

4. Declaration of Pecuniary Interest

5. Adoption of Minutes

5 - 12

Be it resolved that the Committee approve the minutes from the June 22, 2022 Committee of Adjustment meeting as presented.

6. Reports from Municipal Officers

6.1. Planner Clinton Stredwick

6.1.1. PL2022-055 - Cancellation Certificate

13 - 17

Be it resolved that the Committee of Adjustment receive Staff Report PL2022-055 for information; and That the Cancellation certificate request be approved by the Committee of Adjustment as presented.

7. Hearing

7.1. B3-22 - Kendra and Steven Verbeek, Plan 280 Part Mill Block 1 RP16R10863, Part 2, Geographic Village of Dundalk

The Purpose is to sever the lot along the foundation wall to create two semi-detached lots. The severed lot will have 8.1m of frontage and have an area of 543m². The retained lot will have 7m of frontage and an area of 1173m². A 1.5m X 2m servicing easement will also be created on each parcel in favor of the other parcel.

The Effect would be to create two lots, one for each unit of the semi detached residence as well the servicing easements.

7.1.1.	Application and Notice of Public Hearing	18 - 32
7.1.2.	Comments Received from Agencies and the Public	33 - 47
7.1.3.	Applicant or Agent	
7.1.4.	Committee Member Questions	
7.1.5.	Comments and Planning Report	48 - 53
7.1.6.	Members of the Public to Speak	
7.1.7.	Further Questions from the Committee	
7.1.8.	Approval or Refusal	

Be it resolved that the Committee of Adjustment receive Staff Report PL 2022- 045 for information; and **That** the severance be approved with the following conditions:

1. That the public works department is satisfied that each lot has its own water and sewer connection
2. That all fees, charges and any damages to road and sidewalk already caused are paid.
3. That a Minor Variance is approved granting relief from the minimum lot frontage requirements. The new lot frontage standard will be 7m.
4. That the easements for servicing indicated on the draft survey be registered, each in favour of the other lot.

**7.2. A4-22 - Kendra and Steven Verbeek, Plan 280 Part Mill Block 1
RP16R10863, Part 2, , Geographic Village of Dundalk**

The Purpose of the Variance is to vary the provisions of the by-law to allow for the creation of a semi-detached lot with less than 10m of frontage, specifically, the application will vary section 10.3(a) allowing for a reduction of the 10m interior frontage requirement to 7.0m.

The Effect of the approval of this application would provide relief from the by-law to permit the creation of a lot for a semi detached unit. The relief will specifically reduce the interior road frontage requirement from 10m to 7m.

7.2.1.	Application and Notice of Public Hearing	54 - 62
7.2.2.	Comments Received from Agencies and the Public	63 - 79
7.2.3.	Applicant or Agent	
7.2.4.	Committee Member Questions	
7.2.5.	Comments and Planning Report	80 - 84
7.2.6.	Members of the Public to Speak	
7.2.7.	Further Questions from the Committee	
7.2.8.	Approval or Refusal	

Be it resolved that the Committee of Adjustment receive Staff Report 2022-044 for information; and
That the Committee of Adjustment approve the minor variance to reduce the frontage requirements for a semi detached lot from 10m to 7m.

7.3. A5-22 - Martarp Inc, Con 13 N Pt Lot 28 & 29, Geographic Township of Proton

The Purpose of the variance is to vary the front yard setback provision to allow for the addition of a shed on to an existing agricultural building closer to the front lot line. The variance will address section 6.2(d) allowing for the reduction of the 40m front yard setback for agricultural buildings to 20m. The existing building is approximately 32m from the front lot line.

The Effect of the variance is to provide relief from the by-law to permit the shed addition to the agricultural building closer to the front lot line. The relief will specifically reduce the front yard set back for an agricultural structure from 40m to 20m.

7.3.1.	Application and Notice of Public Hearing	85 - 94
7.3.2.	Comments Received from Agencies and the Public	95 - 101
7.3.3.	Applicant or Agent	
7.3.4.	Committee Member Questions	
7.3.5.	Comments and Planning Report	102 - 105
7.3.6.	Members of the Public to Speak	
7.3.7.	Further Questions from the Committee	
7.3.8.	Approval or Refusal	

Be it resolved that the Committee of Adjustment receive Staff Report PL2022-054 for information; and **That** the application for minor variance of a front yard setback of 20m for an agricultural building be approved.

8. Adjournment

Be it resolved that the Committee adjourn the meeting at [TIME].



Township of Southgate
Minutes of Committee of Adjustment

June 22, 2022
9:00 AM
Electronic Participation

Members Present: Member Barbara Dobreen
Member John Woodbury
Member Michael Sherson
Member Jason Rice
Member Jim Frew
Member Martin Shipston

Members Absent: Member Brian Milne

Staff Present: Clinton Stredwick, Planner
Lindsey Green, Clerk
Holly Malynyk, Legislative Assistant

1. Electronic Access Information

Committee recordings will be available on the Township of Southgate [YouTube Channel](#) following the meeting.

2. Call to Order

Chair Woodbury called the meeting to order at 9:00AM.

3. Confirmation of Agenda

Moved By Member Shipston

Seconded By Member Dobreen

Be it resolved that the Committee confirm the agenda as amended.

Carried

4. Declaration of Pecuniary Interest

No one declared a pecuniary interest related to any item on the agenda.

5. Adoption of Minutes

Moved By Member Rice

Seconded By Member Sherson

Be it resolved that the Committee approve the minutes from the May 25, 2022, Committee of Adjustment meeting as presented.

Carried

6. Hearing

6.1 B7-21 - NM Wood Machining, Concession 11, Lot 33 and 34, Geographic Township of Proton

6.1.1 Application and Notice of Public Hearing

The Purpose is to sever the two original Township lots being lot 33 and lot 34, which have inadvertently merged, back into their original lot dimensions. Lots 33 will have 40.61ha and have 540.50m of frontage on Southgate Road 14. Lot 34 will have approximately 40.61ha with 269.78m of frontage on Southgate Rd 14.

The Effect would be to create two farm parcels of approximately 40 ha in size with frontage on Southgate Rd 14.

6.1.2 Comments Received from Agencies and the Public

Planner Clinton Stredwick reviewed additional comments received from agencies that addressed the concerns at the hearing of deferral, being the County of Grey and the Saugeen Valley Conservation Authority.

6.1.3 Applicant or Agent

The applicant or agent were not in attendance to speak to the application.

6.1.4 Committee Member Questions

There were no questions from members of the Committee.

6.1.5 Comments and Planning Report

Planner Stredwick reviewed the planning report and explained the intent of the proposal.

6.1.6 Members of the Public to Speak

No members of the public were present to speak in support of or opposition to the application.

6.1.7 Further Questions from the Committee

There were no further questions from Members of the Committee.

6.1.8 Approval or Refusal

Moved By Member Dobreen

Seconded By Member Shipston

Be it resolved that the Committee of Adjustment receive Staff Report PL2022-043 for information; and

That the severance be approved with the following conditions:

1. That a permit is obtained for the stream crossing from the SVCA;
2. That all fees and charges are paid; and
3. That a survey is provided.

Carried

6.2 B15-21 - Brenda and Murray Calder, Con 3 Pt Lot 43 RP16R11535 Part 1, Geographic Township of Egremont

6.2.1 Application and Notice of Public Hearing

The Purpose is to sever a small 0.65acre lot and add it to the abutting corner lot that is only 0.35acres. The addition will allow for the construction of a small barn for maximum

of 2 horses for transportation purposes. The severed lot will have frontage on Grey Road 109 and will require access for the proposed barn. The retained lot will have frontage on Grey Road 109 and Southgate Road 12 and still be approximately 20 acres in size.

The Effect would be to enlarge the small corner lot to 1 acre in size to allow for the small horse barn to be constructed. The retained lot will continue to be used for agriculture.

6.2.2 Comments Received from Agencies and the Public

Planner Clinton Stredwick reviewed additional comments received from agencies that addressed the concerns at the hearing of deferral, being the Saugeen Valley Conservation Authority. There were no comments received from members of the public.

6.2.3 Applicant or Agent

The applicant or agent were not in attendance to speak to the application.

6.2.4 Committee Member Questions

Members asked questions and staff provided responses.

6.2.5 Comments and Planning Report

Planner Stredwick reviewed his planning report and explained the intent of the proposal.

6.2.6 Members of the Public to Speak

No members of the public were present to speak in support of or in opposition to the application.

6.2.7 Further Questions from the Committee

There were no further questions from members of the Committee.

6.2.8 Approval or Refusal

Moved By Member Shipston

Seconded By Member Dobreen

Be it resolved that the Committee of Adjustment receive Staff Report 2022-046 for information; and
That the severance be approved with the following conditions:

1. That a permit is obtained from the SVCA;
2. That all fees and charges are paid;
3. That a survey is provided;
4. That the lands be rezoned accordingly to permit the proposed barn and livestock use and recognize any reduced zoning as a result of the lot creation; and
5. That the road widening requested by the County of Grey be provided.

Carried

6.3 B3-22 - Kendra and Steven Verbeek, Plan 280 Part Mill Block 1 RP16R10863, Part 2, Geographic Village of Dundalk

6.3.1 Application and Notice of Public Hearing

The Purpose is to sever the lot along the foundation wall to create two semi-detached lots. The severed lot will have 8.1m of frontage and have an area of 543m². The retained lot will have 7m of frontage and an area of 1173m². A 1.5m X 2m servicing easement will also be created on each parcel in favor of the other parcel.

The Effect would be to create two lots, one for each unit of the semi detached residence as well the servicing easements.

6.3.2 Comments Received from Agencies and the Public

Planner Stredwick reviewed comments received by Bell Canada, Enbridge Gas, the Grand River Conservation Authority, the Historic Saugeen Metis, Hydro One, the Township of Southgate Public Works Department and the

County of Grey. There were no comments received from members of the public.

6.3.3 Applicant or Agent

The applicant and agent were in attendance and available to speak about the application and answer any questions.

6.3.4 Committee Member Questions

Members asked questions and staff provided responses.

6.3.5 Comments and Planning Report

Planner Stredwick reviewed his planning report and explained the intent of the proposal.

6.3.6 Members of the Public to Speak

No members of the public were present to speak in support of or opposition to the application.

6.3.7 Further Questions from the Committee

There were no further questions from Members of the Committee.

Member Sherson left the meeting at 9:54AM.

6.3.8 Approval or Refusal

Moved By Member Dobreen

Seconded By Member Shipston

Be it resolved that the severance be deferred pending a resolution of the hydro pole placement.

Carried

6.4 A4-22 - Kendra and Steven Verbeek, Plan 280 Part Mill Block 1 RP16R10863, Part 2, Geographic Village of Dundalk

6.4.1 Application and Notice of Public Hearing

The Purpose of the Variance is to vary the provisions of the by-law to allow for the creation of a semi-detached lot with less than 10m of frontage, specifically, the application will vary section 10.3(a) allowing for a reduction of the 10m interior frontage requirement to 7.0m.

The Effect of the approval of this application would provide relief from the by-law to permit the creation of a lot for a semi detached unit. The relief will specifically reduce the interior road frontage requirement from 10m to 7m.

6.4.2 Comments Received from Agencies and the Public

Planner Stredwick reviewed comments received by Bell Canada, the County of Grey, Enbridge Gas, the Grand River Conservation Authority, the Historic Saugeen Metis, Hydro One and the Township of Southgate Public Works Department.

6.4.3 Applicant or Agent

The applicant and agent were in attendance and available to answer questions.

6.4.4 Committee Member Questions

There were no questions from Members of the Committee.

6.4.5 Comments and Planning Report

Planner Stredwick reviewed his planning report and explained the intent of the proposal.

6.4.6 Members of the Public to Speak

No members of the public were present to speak in support of or opposition to the application.

6.4.7 Further Questions from the Committee

There were no further questions from Members of the Committee.

6.4.8 Approval or Refusal

Moved By Member Shipston

Seconded By Member Frew

Be it resolved that the Committee of Adjustment defer the Minor Variance application to be brought back with the corresponding consent file, B3-22.

Carried

7. Adjournment

Moved By Member Dobreen

Be it resolved that the Committee adjourn the meeting at 10:08AM.

Carried

Chair John Woodbury

Secretary-Treasurer Holly Malynyk

Township of Southgate
Administration Office
185667 Grey Road 9, RR 1
Dundalk, ON N0C 1B0



Phone: 519-923-2110
Toll Free: 1-888-560-6607
Fax: 519-923-9262
Web: www.southgate.ca

Staff Report PL2022-055

Title of Report: PL2022-055 – Farmer Certificate of Cancellation request
Department: Planning
Committee Date: 27/07/2022

Recommendation:

Be it resolved that the Committee of Adjustment receive Staff Report PL2022-055 for information; and

That the Cancellation certificate request be approved by the Committee of Adjustment as presented.

Property Location: The property is described as Part Lot 232, Concession 2, Southwest of the Toronto and Sydenham Road, Proton, described as Part 17, Plan 17R-1315; Township of Southgate and Part Lot 232, Concession 2, Southwest of the Toronto and Sydenham Road, Proton, described as Parts 15-16, 17R-1315; Township of Southgate (See R-Plan attachment #3). The lands are further described as 15 and 17 Bell Circle.



Background:

The Township of Southgate has received a request for a cancellation certificate for 15 & 17 Bell Circle, Village of Dundalk from a Solicitor on behalf of Mr. Farmer. The request letter explaining the nature of the request is included as attachment 1 to this report.

A certificate of cancellation is used to merger previous consents and remove the “Teflon” effect of once a consent always a consent. This is a relatively new change that has been included in a recent update to the Planning Act.

Previously, if a person owned 2 parcels of abutting land that had had a prior planning act consent, those lots could not be merged without first destroying the original consent. This often resulted in severing a 1ft square piece of land and dedicating it to the township. This cumbersome process has now been addressed with the recent change to the Planning Act.

Staff Comments:

The application request (Attachment #1) comes from the Owners’ lawyer Jason Self. Staff agree and support Mr. Self’s request as a logical approach to merging the lots so that it can be registered properly. Once this has occurred a future Site Plan Application can be considered that would have previously crossed the lot line of the two lots.

Township staff recommend Council approve the cancellation certificate for the subject lands to resolve the issue.

Financial Implications:

The legal costs to correct this matter and register the document is being paid for by the Applicant. Because this change to the Planning Act is so new, we currently do not have a fee for a cancellation certificate.

Concluding Comments:

Based on the above information and the application request from Jason Self outlining reasons for the request to correct the land title issue, Township staff recommend that the proposal from Jason Self be approved and a cancellation certificate issued by the secretary treasurer of the Committee of Adjustment.

Respectfully Submitted,

Municipal Planner:

Original Signed By

Clinton Stredwick, BES, MCIP, RPP



CAO Approval:

Original Signed By

Dave Milliner, CAO

Attachment(s):

- 1. Application request from Jason Self**
- 2. Draft Certificate of Cancellation**
- 3. Registered R-Plan**

APPLICATION FOR CANCELLATION CERTIFICATE

TO: The Corporation of the Township of Southgate

RE: Consolidation of 15 & 17 Bell Circle, Dundalk

Applicant: 2803392 Ontario Inc.
c/o Kevin Farmer, President

This is an Application for a Certificate of Cancellation pursuant to s. 53(45) of the *Planning Act* (the "Act") to revoke a previously issued consent under the Act.

Background

15 & 17 Bell Circle, Dundalk are two lots created pursuant to a consent previously issued under the Act. Although these two separate lots have been under the common ownership of a single owner for many years, the two separate lots would still be subject to s. 50(12) of the Act. S. 50(12) of the Act is the statutory authority for the rule commonly known as "once a consent, always a consent". As it relates to 15 & 17 Bell Circle, this means that the two properties should never merge back to a single lot, even when under common ownership.

The owner of these two parcels, 2803392 Ontario Inc., is seeking Site Plan approval for certain proposed development of the properties. The draft Site Plan does not maintain the requisite set-back requirements under the Southgate Zoning By-Law 19-2002, as amended, unless the two properties are merged and treated as one.

Application

As such, the applicant applies under s. 53(45) of the Act for the issuance of a Certificate of Cancellation of the previous consent which created 15 & 17 Bell Circle. The objective of this request is to have the two properties merge into a single lot.

Subject Properties

1. Part Lot 232, Concession 2, Southwest of the Toronto and Sydenham Road, Proton, described as Part 17, Plan 17R-1315; Township of Southgate (PIN: 37268-0611)
2. Part Lot 232, Concession 2, Southwest of the Toronto and Sydenham Road, Proton, described as Parts 15-16, 17R-1315; Township of Southgate (PIN: 37278-0520)

R-Plan 17R-1315 is attached.



185667 Grey County Road 9 RR
1
Dundalk, Ontario
N0C 1B0
Phone: 519-923-2110 ext. 232
Email: hmalynyk@southgate.ca
www.southgate.ca

**Township of Southgate
Committee of Adjustment**

**CERTIFICATE OF
CANCELLATION
Section 53 (45) of the
Planning Act**

Subsection 50(12) of the Planning Act does not apply in respect of the land described as follows:

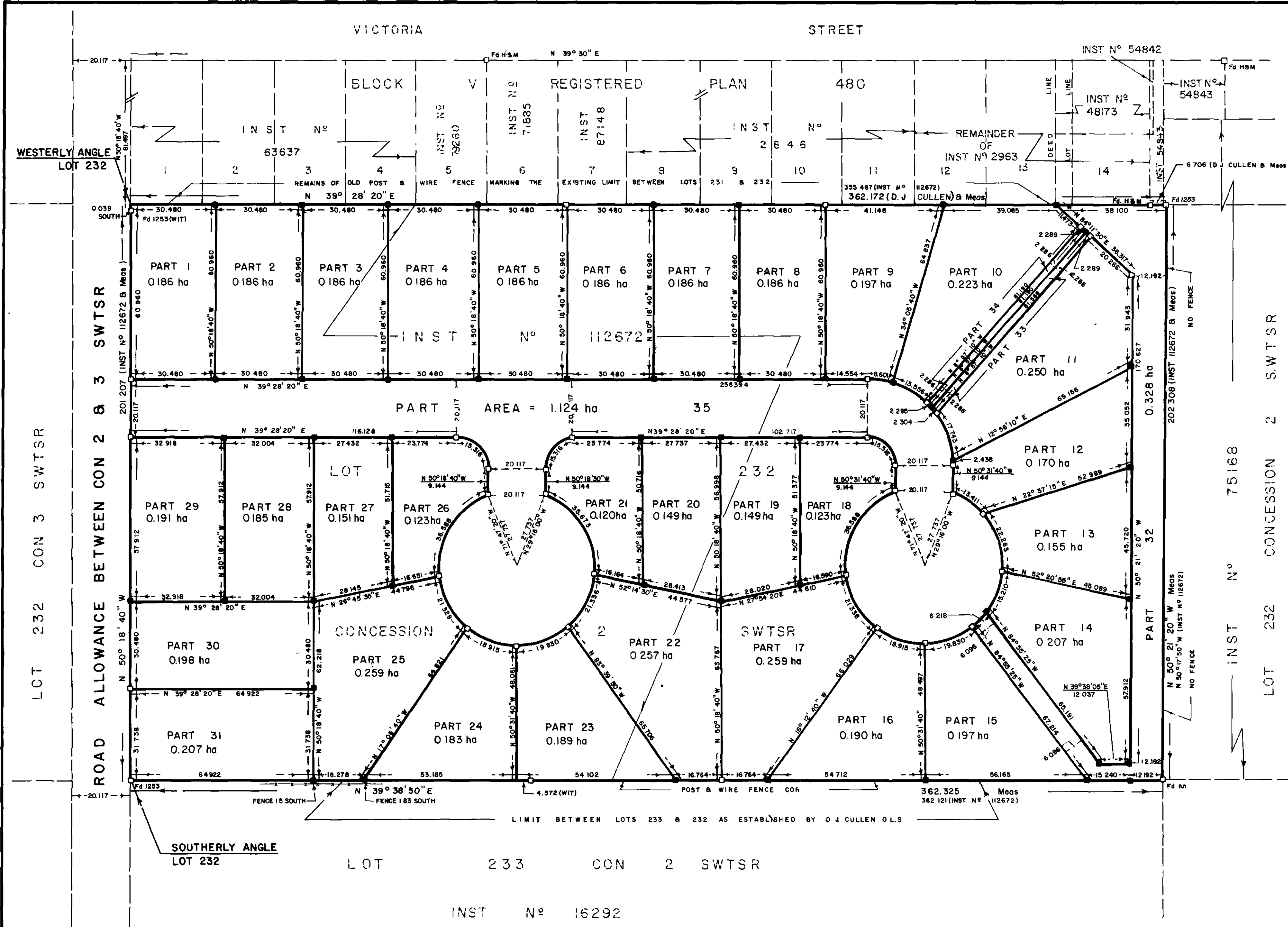
PIN 37268-0611 and 37268-0520

Pt Lot 232, Concession 2, SWTSR, Proton Parts 15,16 and 17, 17R1315,
Township of Southgate

Subsection 50(3) or (5) applies to a subsequent conveyance or other transaction involving the land.

This Certificate of Cancellation is issued in accordance with Section 53(45) of the *Planning Act*, R.S.O. 1990,c.P.13, as amended, and the decision of the Committee of Adjustment of the Township of Southgate, County of Grey dated this 27th of July, 2022.

Holly Malynyk
Secretary-Treasurer of the
Committee of Adjustment
Township of Southgate



CURVE DATA				
PART	ARC	RADIUS	CHORD	CHD. BEARING
9	8.691	29.870	8.571	N 47° 43' 20" E
10	18.566	29.870	13.440	N 68° 58' 30" E
11	17.725	29.870	17.466	N 72° 12' 30" W
12	2.438	29.870	2.438	N 52° 52' 00" W
13	13.411	27.737	13.260	N 74° 35' 20" E
14	22.283	27.737	21.671	N 68° 34' 00" W
15	15.210	27.737	15.021	N 30° 44' 36" W
16	19.830	27.737	19.413	N 18° 59' 10" E
17	18.915	27.737	18.553	N 59° 00' 45" E
18	21.336	27.737	20.815	N 79° 24' 40" W
19	36.588	27.737	35.994	N 19° 35' 00" W
20	15.316	9.753	13.792	N 84° 28' 20" E
21	15.316	9.753	13.792	N 8° 31' 40" W
22	35.673	27.737	33.266	N 82° 25' 00" W
23	21.366	27.737	20.815	N 23° 32' 00" W
24	19.830	27.737	19.412	N 18° 59' 10" E
25	18.915	27.737	18.533	N 59° 00' 45" E
26	21.329	27.737	20.809	N 79° 24' 40" W
27	36.588	27.737	35.994	N 19° 35' 00" W
28	15.316	9.753	13.792	N 84° 28' 20" E
29	6.218	27.737	6.206	N 5° 51' 33" W
30	2.304	29.870	2.304	N 88° 35' 00" E
31	2.295	29.870	2.295	N 84° 10' 20" E
32	AS ABOVE	AS ABOVE	AS ABOVE	AS ABOVE

PARTS SCHEDULE					
PART	INST N°	CONCESSION	LOT	VILLAGE	AREA
1	112672	2 SWTSR	232	DUNDALK	0.186 ha
2	"	"	"	"	0.186 ha
3	"	"	"	"	0.186 ha
4	"	"	"	"	0.186 ha
5	"	"	"	"	0.186 ha
6	"	"	"	"	0.186 ha
7	"	"	"	"	0.186 ha
8	"	"	"	"	0.186 ha
9	"	"	"	"	0.197 ha
10	"	"	"	"	0.223 ha
11	"	"	"	"	0.250 ha
12	"	"	"	"	0.170 ha
13	"	"	"	"	0.155 ha
14	"	"	"	"	0.207 ha
15	"	"	"	"	0.197 ha
16	"	"	"	"	0.190 ha
17	"	"	"	"	0.259 ha
18	"	"	"	"	0.123 ha
19	"	"	"	"	0.149 ha
20	"	"	"	"	0.149 ha
21	"	"	"	"	0.120 ha
22	"	"	"	"	0.257 ha
23	"	"	"	"	0.189 ha
24	"	"	"	"	0.183 ha
25	"	"	"	"	0.259 ha
26	"	"	"	"	0.123 ha
27	"	"	"	"	0.151 ha
28	"	"	"	"	0.185 ha
29	"	"	"	"	0.191 ha
30	"	"	"	"	0.198 ha
31	"	"	"	"	0.207 ha
32	"	"	"	"	0.328 ha
33	"	"	"	"	0.018 ha
34	"	"	"	"	0.018 ha
35	"	"	"	"	1.124 ha

PLAN MATERIAL	
ITEM	DESCRIPTION
MATERIAL	MYLAR
GAUGE	0.03 INCHES
INK	SPECIAL 'T'

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE REGISTRY ACT

RECEIVED AND DEPOSITED AS

DATED 22 July 1980

17R-1315

DATED 31 July 1980

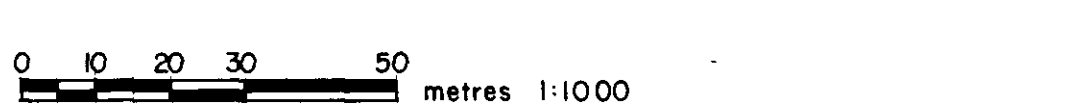
P. J. WILLIAMS O.L.S.

DEPUTY LAND REGISTRAR FOR THE REGISTRY DIVISION OF GREY SOUTH (N°17)

CAUTION: THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF THE PLANNING ACT.

METRIC MEASUREMENTS ON THIS PLAN ARE IN METERS AND MAY BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PLAN OF SURVEY OF
PART OF LOT 232,
CONCESSION 2, SWTSR
VILLAGE OF DUNDALK
(FORMERLY IN THE TOWNSHIP OF PROTON)
COUNTY OF GREY



P. J. WILLIAMS O.L.S. — 1980

NOTE
BEARINGS ARE ASSUMED ASTRONOMIC, DERIVED FROM THE SOUTH-EAST LIMIT OF VICTORIA STREET AS BEING N 39° 30' E AND SHOWN ON PLAN OF SURVEY BY J. C. MILNE O.L.S. DATED JUNE 16 1967, VILLAGE OF DUNDALK, COUNTY OF GREY, AS FILED IN THE OFFICES OF HEWETT & MILNE, O.L.S., AT OWEN SOUND
ALL BARS SET UNLESS OTHERWISE INDICATED

LEGEND
□ - DENOTES 0.025 sq x 1.129 long IRON BAR
■ - DENOTES 0.015 sq x 0.609 long IRON BAR
1253 - DENOTES D.J. CULLEN O.L.S.
SWTSR - DENOTES SOUTHWEST OF THE TORONTO-SYDENHAM ROAD
NN - DENOTES NO NUMBER

SURVEYORS CERTIFICATE
1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE REGISTRY ACT AND THE REGULATIONS MADE THEREUNDER.

2) THE SURVEY WAS COMPLETED ON THE 22 DAY OF July 1980.

22 July 1980
DATED
P. J. WILLIAMS O.L.S.

PETER J. WILLIAMS
ONTARIO LAND SURVEYOR
P.O. BOX 146, 7 FIRST STREET
ORANGEVILLE ONTARIO L9W 2C5
(519) 941-6251



**The Corporation of The
Township of Southgate**

Consent application form

Instructions:

- Please check all applicable boxes and answer all applicable questions
- Several of the questions are part of the minimum mandatory requirements as prescribed in Schedule 1 to Ontario Regulation 41/95, Planning Act, and must be completed
- Failure to provide adequate, correct information may result in your application being refused
- All measurements MUST be in metric units. (Imperial Units will not be accepted)
- Additional information may be attached if necessary
- Incomplete applications will be returned
- The Township reserves the right to ask for more information or clarification pertaining to this application at a later time
- Applications are not accepted without the required fees

For office use only

File No: B3-22

Pre-Consult Date: _____

Date received: May 26, 2022

Date accepted: _____

Accepted by: _____

Roll # 42 07 110.001 38404

Conservation Authority Fee

Required: _____

Other information: _____

It is strongly advised that any potential applicant pre-consult with the Planning Department prior to submitting any planning application. This could save you money and avoid delays in processing. Staff are available to provide some assistance in completing this application and will help ensure the application is filled out completely.

The Approval Authority is the Township of Southgate Committee of Adjustment

Required Fees:

Application Fees	\$1,355.00 due with submitted application
	\$ 267.00 due on completion (if approved)
Public Notice Sign Fee	\$ 111.00
Parkland Dedication Fee	\$ 543.00 (all new residential lots)
Deed Stamping	\$ 327.00 due before finalization of approved consent
Conservation Authority Fee	SVCA \$ 260.00 (per each net lot created) GRCA - Call directly for details

Note on fees:

The application fees were adopted and approved under the Township of Southgate's fees and charges By-law.

All required application fees shall be paid in cash or by cheque made payable to the Township of Southgate at the time of submission of the application.

Please review the required Conservation Authority fees prior to submitting your application. Saugeen Valley Conservation Authority requires their fee to be submitted to the Township of Southgate along with this application.

In the event that all fees are not paid in full at the time of submission, the application shall be deemed incomplete.



Part One

Owner/Agent/Application Information

*To be completed by the applicant

1. Name of registered owner: Steven Walter VERBEEK & Kendra Ann VERBEEK
 Mailing address: [REDACTED]
 Phone# : (H) [REDACTED] (B) [REDACTED]
 Email Address: [REDACTED]
2. Name of applicant (if different than above): _____
 Mailing address: _____
 Phone#: _____ Email: _____
 Applicant's Relationship to Subject Lands:
☐ Registered Property Owner
☐ Holder of Option to Purchase Subject Lands
☐ Signing Officer of Corporation
☐ Other (Specify) _____
3. Name of agent: Jeff Buisman, Van Harten Surveying
 Mailing address: 423 Woolwich Street, Guelph, ON, N1H 3X3
 Phone#: 519-821-2763 ext. 225 Email: jeff.buisman@vanharten.com
4. Send all correspondence to: (Choose only ONE) ☐ Applicant ☒ Agent
5. Preferred Method of communication: ☐ Phone ☒ email ☐ Postal Mail

Part Two

The Subject Lands

6. Subject Land: (Legal Description)

NOTE: On this form "SUBJECT LAND" means the parcel to be severed & the parcel to be retained.

Former Municipality Village of Dundalk
 Road Name Doyle Street Civic Address (911) No. 250
 Lot No. Part Mill Block 1 Plan/Concession Plan 480
 Part 2 Reference Plan No. 16R-10863

7. Description of Subject Land:

- a) Existing use of the subject land:

☐ Agricultural ☐ Rural ☐ Commercial/Industrial ☒ Residential
☐ Other(explain) _____

- b) Existing buildings Semi-detached dwelling under construction

- c) Is the "subject land" presently subject to any of the following:

☒ Easement ☐ Restrictive Covenants ☐ Right of Way

Together with an Easement over Part 2, 16R-10060 as in INST No. GY59745 for

Describe: placement and maintenance of service and utility lines and equipment

NOTE: all existing easements and right of ways must be shown on the sketch.

Part Three The Proposal

8. Proposal

Dimensions of land intended
to be SEVERED

Frontage 8.1m metres

Depth 66.6m metres

Area 543m² hectares

Dimensions of land intended
to be RETAINED

Frontage 7.0m metres

Depth 66.6m metres

Area 1,173m² hectares

**These dimensions must be accurate*

9. Reason for severance

(a) Reason for severance A semi-detached dwelling is currently under construction and the severance is required to split the parcel to create separate ownership for each unit. A cross easement is also required and proposed for servicing connections to each parcel. Please see covering letter for more details.

i) New Lot ☒

ii) Lot Addition ☐ (Question # 12 to be completed)

iii) Lease/Charge ☐

iv) Easement/Right of Way ☒

<input type="checkbox"/> Bell Canada	<input type="checkbox"/> Hydro
<input checked="" type="checkbox"/> Water Access	<input type="checkbox"/> Gas
<input checked="" type="checkbox"/> Other (Specify) <u>Crossover Servicing Connections</u>	

Easement for Severed and Retained Parcels

v) Correction of Title ☐

vi) Other ☐ Specify _____

(b) Name of person(s), if known, to whom land or interest in land is to be transferred,
leased or charged: Unknown

Address: Unknown

10. Proposed use of land to be severed

Existing buildings Residential - Semi-detached dwelling currently under construction

Proposed buildings _____

<input type="checkbox"/> Non-farm residential	<input type="checkbox"/> Surplus farm dwelling
<input type="checkbox"/> Agricultural	<input type="checkbox"/> Agricultural related
<input type="checkbox"/> Hobby Farm	<input type="checkbox"/> Commercial/Industrial
<input checked="" type="checkbox"/> Other (Specify) <u>Residential</u>	

11. Proposed use of land to be retained

Existing buildings Residential - Semi-detached dwelling currently under construction

Proposed buildings _____

<input type="checkbox"/> Non-farm residential	<input type="checkbox"/> Surplus farm dwelling
<input type="checkbox"/> Agricultural	<input type="checkbox"/> Agricultural related
<input type="checkbox"/> Hobby Farm	<input type="checkbox"/> Commercial/Industrial
<input checked="" type="checkbox"/> Other (Specify) <u>Residential</u>	

12. Original lot being added to (lot addition only): N/A

Existing buildings/structures: _____

Use: _____

Access: _____

Servicing: _____

13. Road Access:

	Severed Parcel	Retained Parcel
Provincial Highway(Provide Road Number)	<input type="checkbox"/>	<input type="checkbox"/>
County Road (Provide Road Number)	<input type="checkbox"/>	<input type="checkbox"/>
Southgate Road (Provide Road Number)	<input checked="" type="checkbox"/> Doyle Street	<input checked="" type="checkbox"/>
Non-maintained/seasonally maintained Municipal road allowance	<input type="checkbox"/>	<input type="checkbox"/>
If access is from a non-maintained or seasonally maintained road allowance has an agreement been reached with the municipality regarding upgrading of the road? <input type="checkbox"/> YES <input type="checkbox"/> NO		
Private Right-of-Way	<input type="checkbox"/>	<input type="checkbox"/>

14. Servicing:

a) What type of water supply is proposed?

	Severed Parcel	Retained Parcel
Municipally owned/operated water supply	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Lake/River	<input type="checkbox"/>	<input type="checkbox"/>
Private well - Individual	<input type="checkbox"/>	<input type="checkbox"/>
Private well - Communal	<input type="checkbox"/>	<input type="checkbox"/>
If proposed water supply is by private well, are the surrounding water well records attached? <input type="checkbox"/> YES <input type="checkbox"/> NO		

b) What type of sewage disposal is proposed?

	Severed Parcel	Retained Parcel
Municipally owned/operated sanitary sewers	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Individual Private Septic	<input type="checkbox"/>	<input type="checkbox"/>
Communal Private Septic	<input type="checkbox"/>	<input type="checkbox"/>
Privy	<input type="checkbox"/>	<input type="checkbox"/>
Other (Specify)	<input type="checkbox"/>	<input type="checkbox"/>

c) Other services (check if any of these services are available to the "subject land")

Electricity ☒ School Bus ☒ Telephone ☒ Garbage Collection ☒

15. Agricultural property history

If this property is Agricultural in nature or located within 450m (1476 feet) of a barn or livestock facility, **you must complete Schedule "A"**, found at the end of this application. (Exception for minor lot line adjustment).

Part Four Statement of Compliance

16. Applicable legislation and policies

a) Is this application consistent with policy statements issued under subsection 3 (1) of Planning Act? ☒ Yes ☐ No

b) Is the subject land within an area of land designated under any provincial plan or plans? ☐ Yes ☒ No

i) If the answer to section b) is yes, does this application conform to, or not conflict with, the applicable provincial plan or plans.

☐ Yes ☐ No

c) Please indicate the existing Southgate Official Plan designation(s) of the subject land:

<input type="checkbox"/> Agriculture	<input type="checkbox"/> Space Extensive Industrial/Commercial
<input type="checkbox"/> Rural	<input type="checkbox"/> Mineral Aggregate Extraction
<input type="checkbox"/> Village Community	<input checked="" type="checkbox"/> Hazard Lands
<input type="checkbox"/> Inland Lakes	<input type="checkbox"/> Wetlands
<input type="checkbox"/> Major Open Space	<input checked="" type="checkbox"/> Neighbourhood Area
<input type="checkbox"/> Arterial Commercial	<input type="checkbox"/> Downtown Commercial
<input type="checkbox"/> Industrial	<input type="checkbox"/> Public Space
<input type="checkbox"/> Special Policy Area	

d) Please indicate whether any of the following Constraint Areas in Southgate Official Plan apply to the subject land: **N/A**

<input type="checkbox"/> Primary Aggregate Resource Areas	<input type="checkbox"/> ANSI
<input type="checkbox"/> Existing/known abandoned Land Fill Sites	<input type="checkbox"/> Deer wintering yard

e) Does the application conform to the Southgate Official Plan?

☒ Yes ☐ No

f) Has any land been previously severed from the original parcel of land?

☐ Yes ☒ No If yes, how many severances? Unknown

Indicate year, file #'s, if known _____

g) Has the parcel intended to be severed ever been, or is it now, the subject of an application for a plan of subdivision under the Planning Act?

☐ Yes ☒ No ☐ Unknown

h) Is the application being submitted in conjunction with a proposed County Official Plan Amendment? ☐ Yes ☒ No

i) Is the application being submitted in conjunction with a proposed Southgate Official Plan Amendment? ☐ Yes ☒ No

j) Has an application for a zoning by-law amendment, or a minor variance, been submitted to/or approved by the Township of Southgate?

☒ Yes ☐ No **A minor variance application is being submitted simultaneously with the severance**

i) If yes, please provide some additional information:

File # _____ Submitted _____ Approved _____

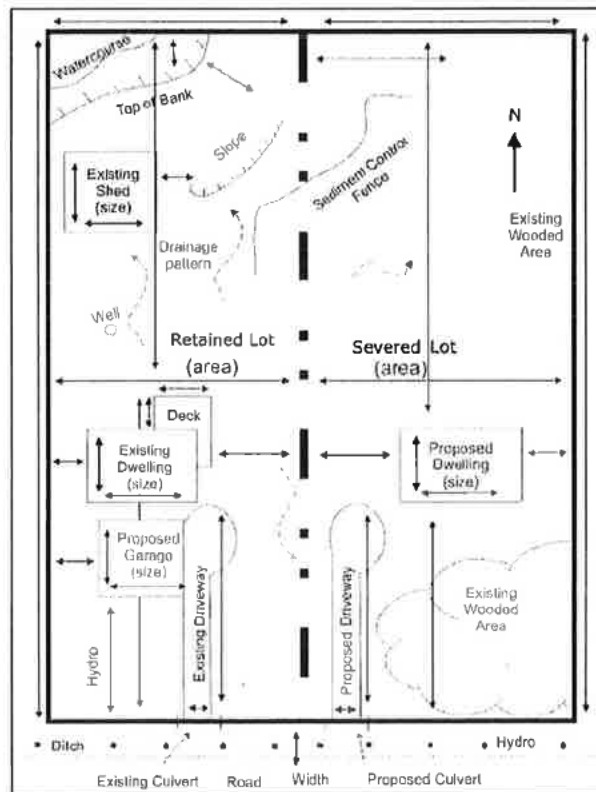
File # _____ Submitted _____ Approved _____

Additional Requirements

17. Sketch ***You must show all of the required information***

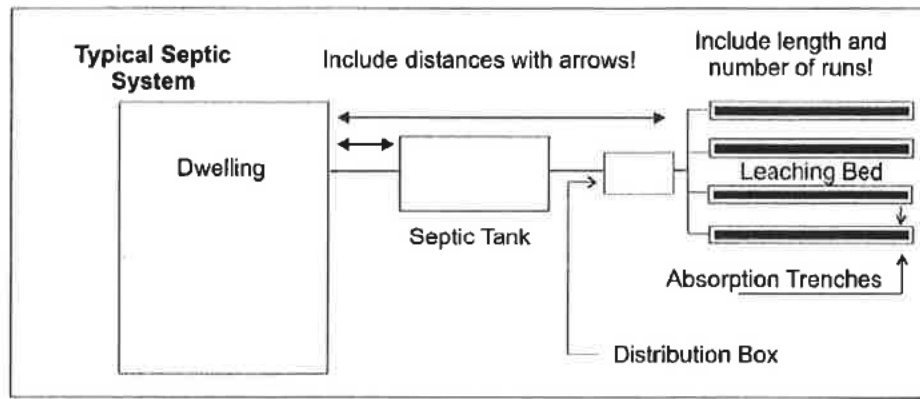
Sketch must be submitted on paper no larger than 8 1/2" x 14". Please review the example sketches to help you with what is required. Sketches must be neat and easy to read.

- Clearly label which is the severed parcel and which is the retained parcel
- "NORTH ARROW"
- "Subject Land" - all land owned by the applicant - boundaries & dimensions
- Distance between the applicant's land and the nearest township lot line or appropriate landmark (e.g. bridge, railway crossing, etc.)
- Boundaries and dimensions of the subject lands – clearly indicating the part of the parcel that is to be severed, the part that is to be retained and the location of all land previously severed
- Approximate location of all natural and artificial features on the subject land (e.g. buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells, septic tanks) and the location of any of these features on adjacent lands which may affect the application
- Use of adjoining land (e.g. residential, agricultural, cottage, commercial, etc.)
- Location, width and names of all road allowances, rights-of-way, streets, or highways within or abutting the property, indicating whether they are publicly traveled roads, private roads, rights-of-way or unopened road allowances
- Location and nature of any easement affecting the subject land
- Location and distances of barns within 450 metres (1476 feet) of severance

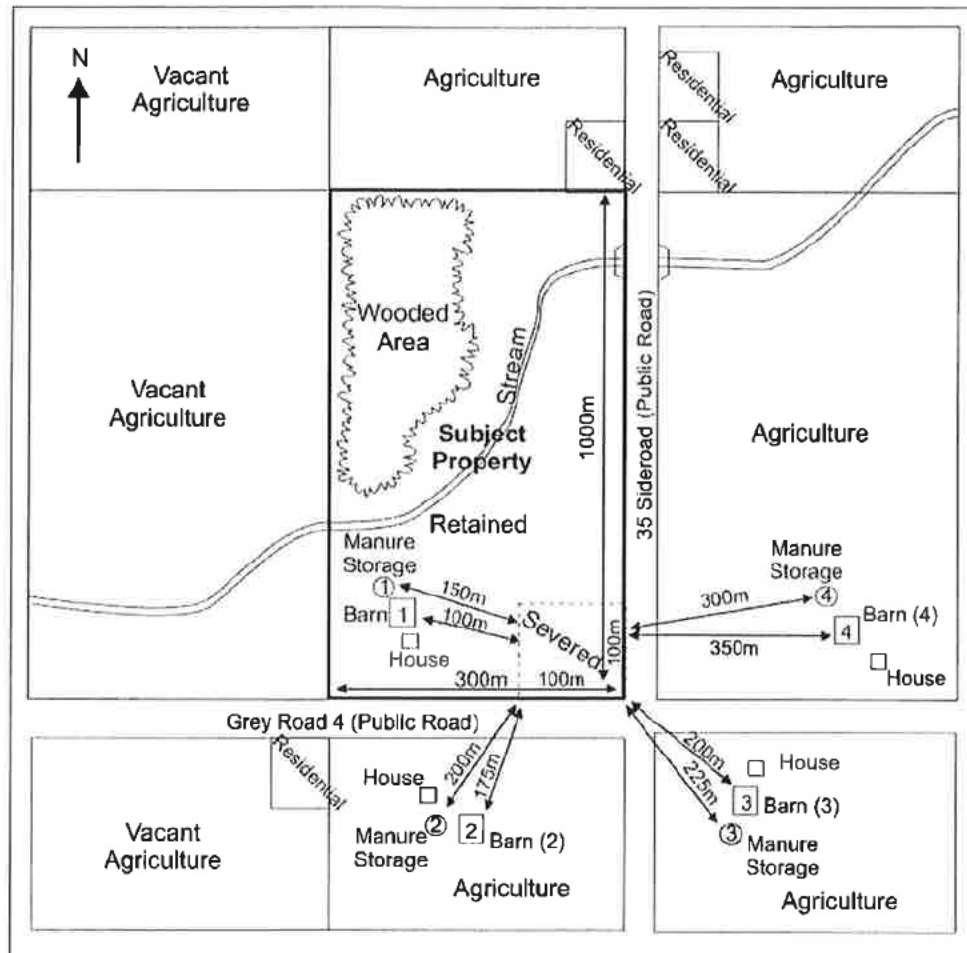


Sample 1 Residential Lot Severance Sketch

Please do not return this page



Sample 2 Septic System Information



Sample 3 Agricultural Severance

Further Note on Sketches:

The above samples are provided for your information. The exact details you will need to provide will depend on your proposal. Agricultural properties **MUST** provide information relating to barns on the subject property *and* the neighbouring properties as shown in Sample 3. Properties inside urban areas do not require agricultural information. Septic information in the urban area of Dundalk is not required if the property is on full municipal services.

Please do not return this page

Part Five
Authorization and affidavit

18. Owner's Consent (Freedom of Information):

In accordance with the provision of the Planning Act, it is the policy of the Municipality to provide public access to all development applications and supporting documentation. In submitting this development application and supporting documentation

I(we), Steven Walter VERBEEK and Kendra Ann VERBEEK
name of owner(s)

hereby acknowledge the above-noted and provide my/(our) consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, as well as commenting letters of reports issued by the municipality and other review agencies will be part of the public record and will also be available to the general public.

[Redacted Signature]
Signature of Owner

5/24/22

5/24/22
date

[Redacted Signature]
Signature of Owner

19. Owner authorization for agent

I/we Steven Walter VERBEEK & Kendra Ann VERBEEK

authorize Jeff Buisman, OLS, Van Harten Surveying

[Redacted Signature] For the purpose of this application

[Redacted Signature]
Signature of Owner

[Redacted Signature]
Signature of Witness

Dated at the _____ Town _____ of _____ Dundalk _____

this 24 day of May, 20 22

20. Owners authorization for access

I/we Steven Walter VERBEEK & Kendra Ann VERBEEK

Hereby do permit Township staff and its representatives to enter upon my/our lands during regular business hours for the purpose of performing inspections of the subject [Redacted] and evaluation of this application.

[Redacted Signature]
Signature of Owner

5/24/22

5/24/22
date

[Redacted Signature]
Signature of Owner

21. Affidavit or sworn declaration

Note: This Affidavit must be signed in the presence of a Commissioner for Taking Oaths.

I/ (We) Jeff Buisman, OLS, Van Harten Surveying
Name of Owner(s) or Authorized Agent

of the City of Guelph in the County of Wellington
city/township/municipality county/region

Solemnly declare that all statements contained in this application and all the information provided is true, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the:

City of Guelph in the County of Wellington
city/township/municipality county/region

This 25 day of May, 2022



Signature of Owner or Authorized Agent

May 25, 2022
Date

Signature of Owner

Date



Signature of Commissioner

May 25, 2022
Date

Return this completed form and payment to:

Attention: Committee of Adjustment
 Township of Southgate
 185667 Grey Road 9, RR 1
 Dundalk Ontario
 N0C 1B0

James Michael Laws,
 a Commissioner, etc.,
 Province of Ontario,
 for Van Harten Surveying Inc.
 Expires May 11, 2024

Schedule "A"

Supplementary Information – Agricultural Lands

Agricultural property history

1. What type of farming has been or is currently being conducted?

<input type="checkbox"/> Beef	<input type="checkbox"/> Swine	<input type="checkbox"/> Poultry
<input type="checkbox"/> Dairy	<input type="checkbox"/> Cash Crop	<input type="checkbox"/> Sheep
<input type="checkbox"/> None		
<input type="checkbox"/> Other (describe) _____		

a) Describe in detail the size and age of animals, and feed type used for the type of farming conducted: _____

2. Is there a barn on the *subject property*? ☐ Yes ☐ No

If yes, answer the questions below:

a) Indicate the condition of the barn: _____

b) Size of Barn: _____

c) Present Use of Barn: _____

d) Livestock Capacity of Barn: _____

e) MANURE STORAGE:

Please indicate the manure storage facilities on the subject lands

☐ No storage required (manure/material is stored for less than 14 days)

☐ Storage already exists

i) Type of Storage:

☐ Liquid

☐ inside, underneath slatted floor

☐ outside, with permanent, tight fitting cover

☐ (treated manure/material) outside, no cover

☐ outside, with a permanent floating cover

☐ outside, no cover, straight-walled storage

☐ outside, roof but with open sides

☐ outside, no cover, sloped-sided storage

☐ Solid

☐ inside, bedded pack

☐ outside, covered

☐ outside, no cover, $\geq 30\%$ DM

☐ outside, no cover, 18-30% DM, with covered liquid runoff storage

☐ outside, no cover, 18-30% DM, with uncovered liquid runoff storage

3. Are you actively farming the land (or – do you have the land farmed under your supervision)?

☐ Yes – For how long? _____

☐ No – When did you stop farming? _____

a) If no, for what reason did you stop farming? _____

4. How long have you owned the farm? _____

5. Area of total farm holdings: _____

6. Number of tillable hectares: _____

7. Do you own any other farm properties? ☐ Yes ☐ No

If yes, indicate locations: Lot: _____ Concession: _____

Former Township: _____

Total Hectares: _____

8. Do you rent any other land for farming purposes? ☐ Yes ☐ No

If yes, indicate locations: Lot: _____ Concession: _____

Former Township: _____

Total Hectares: _____

9. Adjacent and nearby farms

a) Are there any barns on other properties within 450 m (1500 ft) of the subject lands?

☐ Yes ☐ No

***If yes, these barns and distances to the subject property must be shown on the sketch.

The following questions must be answered for each property within 450m containing a barn regardless of current use. Attach a list if necessary.

b) What type of farming has been conducted on the property/properties?

c) Indicate the number of tillable hectares on other property: _____

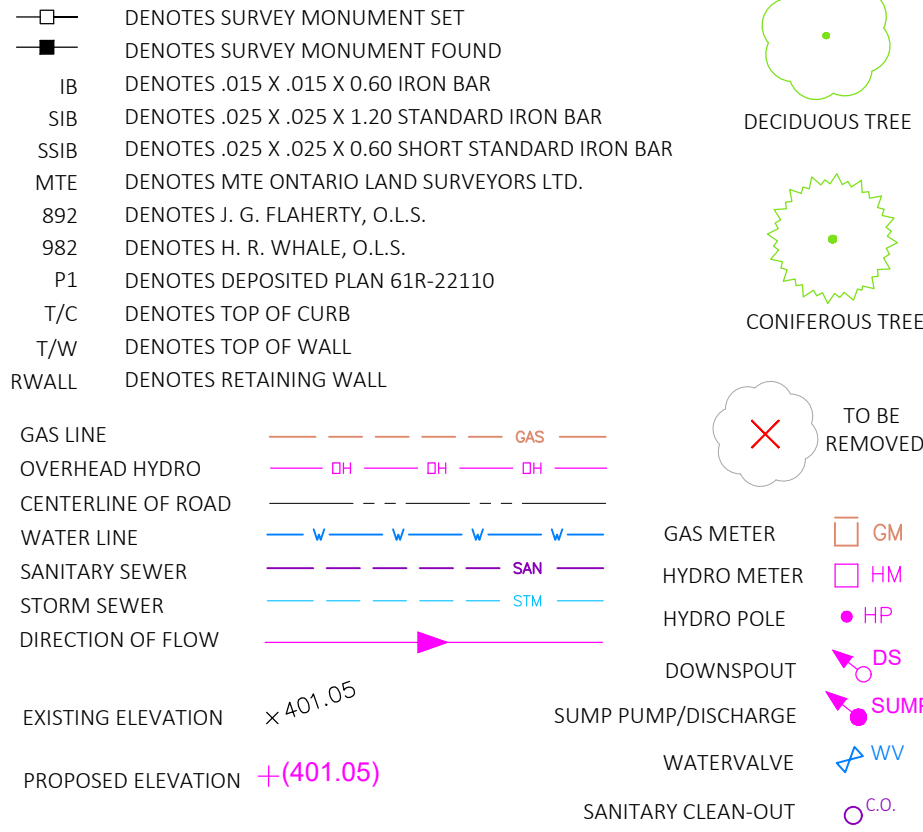
d) Indicate the size of the barn(s): _____

e) Capacity of barn in terms of livestock: _____

f) Manure Storage facilities on other property (see storage types listed in question above):

Additional information may be required for Minimum Distance Separation (MDS) calculations – please discuss this with Planning Staff prior to submitting your application

LEGEND:



NOTES:

- MATCH TO EXISTING GRADE AT ALL LOT LINES. ATTEMPTS ARE TO BE MADE TO ENSURE ANY ABUTTING LOTS WITH DRAINAGE OUTLETING ONTO THE SUBJECT PROPERTY WILL CONTINUE TO DO SO.
- THE OWNER ACKNOWLEDGES THAT THE PROPOSED GRADING DOES NOT MEET TOWNSHIP STANDARDS. DUE TO CONSTRAINTS OF THE ELEVATIONS OF THE ABUTTING LOTS, MINIMAL SLOPE IS AVAILABLE TO CREATE SURFACE RUN-OFF. THE DESIGN MAKES EVERY ATTEMPT TO PROVIDE AN OUTLET FOR THE SURFACE DRAINAGE. PONDING AND SLOW DRAINAGE RUN-OFF MAY OCCUR FROM TIME TO TIME.
- DOWNSPOUTS TO DISCHARGE TO SWALES AND CANNOT BE REDIRECTED TOWARDS ABUTTING DWELLINGS.
- DRIVEWAY TO BE CONSTRUCTED WITH MINIMUM 150mm GRANULAR 'A' BASE, 150mm GRANULAR 'B' SUB BASE.
- BUILDER IS RESPONSIBLE TO COORDINATE WITH HYDRO, GAS AND OTHER UTILITIES.
- PROPOSED 3:1 SLOPES AND 2:1 SLOPES MAY BE REDUCED OR SUPPLEMENTED WITH LANDSCAPE WALLS AT THE DISCRETION OF THE BUILDER.
- DRIVEWAY TO BE CURBED (MIN. 0.15m HIGH) AND PROPOSED 2:1 SLOPE TO EXISTING DITCH.
- DRIVEWAY RAMP (WITHIN MUNICIPAL RIGHT-OF-WAY) TO BE ASPHALT (MIN. 50mm HL3)
- ALL DISTURBED AREAS TO BE TOPSOILED (200mm MIN.) AND SODDED/SEEDED. WITHIN THE MUNICIPAL RIGHT-OF-WAY, SOD IS REQUIRED.
- WRITTEN PERMISSION FROM THE ABUTTING PROPERTY OWNER IS REQUIRED IF GRADING EXTENDS ONTO THEIR LANDS.

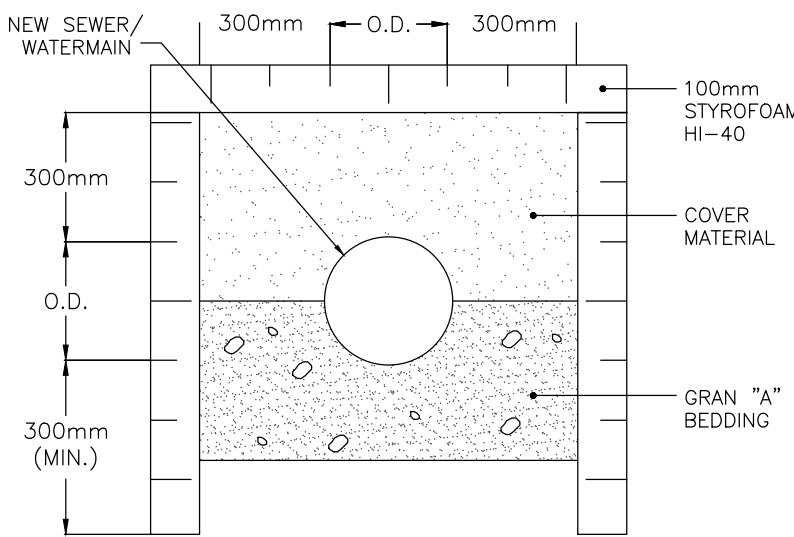
SEDIMENT AND EROSION CONTROL NOTES:

- ALL SILT FENCING TO BE INSPECTED AND INSTALLED PRIOR TO THE COMMENCEMENT OF ANY GRADING OR EXCAVATING.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ANY ADDITIONAL EROSION CONTROL MEASURES.
- ALL EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED BY RESTORATION OF GROUND COVER.
- ANY DISTURBED AREAS NOT UNDER ACTIVE CONSTRUCTION ARE TO BE STABILIZED WITH TOPSOIL AND SEED/SOD.
- ANY MUD/DEBRIS TRACKING ONTO MUNICIPAL ROAD ALLOWANCES WILL BE CLEANED UP BY THE END OF THE WORK DAY (DAILY).

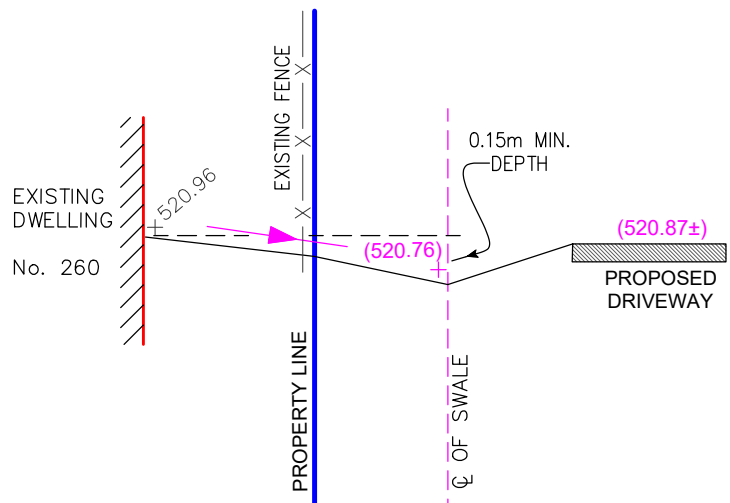
SERVICING NOTES:

- SUMP PUMPS TO DISCHARGE TO GRADE.
- IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT THE PROPOSED UNDERSIDE OF FOOTING WILL ALLOW A GRAVITY SANITARY SEWER CONNECTION.
- THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY AND BASED ON ENGINEERING DRAWINGS P2, GEN, LGR2 AND XS BY WMI & ASSOCIATES LTD, AND ADDITIONAL LOCATES BY SCOTT BETTS.
- PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.
- 1.0m MINIMUM SEPARATION BETWEEN SEWER (SANITARY AND STORM) AND WATER SERVICE CONNECTIONS.
- WATER SERVICE (PRIVATE SIDE) IS 25mm DIA. (1" O.D., 7/8" I.D.) IPEX BLUE 904 POLY.
- SANITARY SERVICE (PRIVATE SIDE) IS 100mm DIA. PVC SDR.28 AT 2.0% MIN. MINIMUM SLOPE. CLEAN OUTS LOCATED AS SHOWN.
- WATER SERVICE TO BE INSULATED IF LESS THAN 2.0m GROUND COVER IS PROVIDED.
- ALL WORKS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE TO BE COMPLETED IN CONFORMANCE WITH TOWNSHIP MUNICIPAL SERVICING STANDARDS AND APPLICABLE OPS/OPSDs. A LIST OF ALL MATERIALS, FIXTURES AND APPURTENANCES IS TO BE SUBMITTED TO THE TOWNSHIP FOR REVIEW/APPROVAL PRIOR TO INSTALLATION.

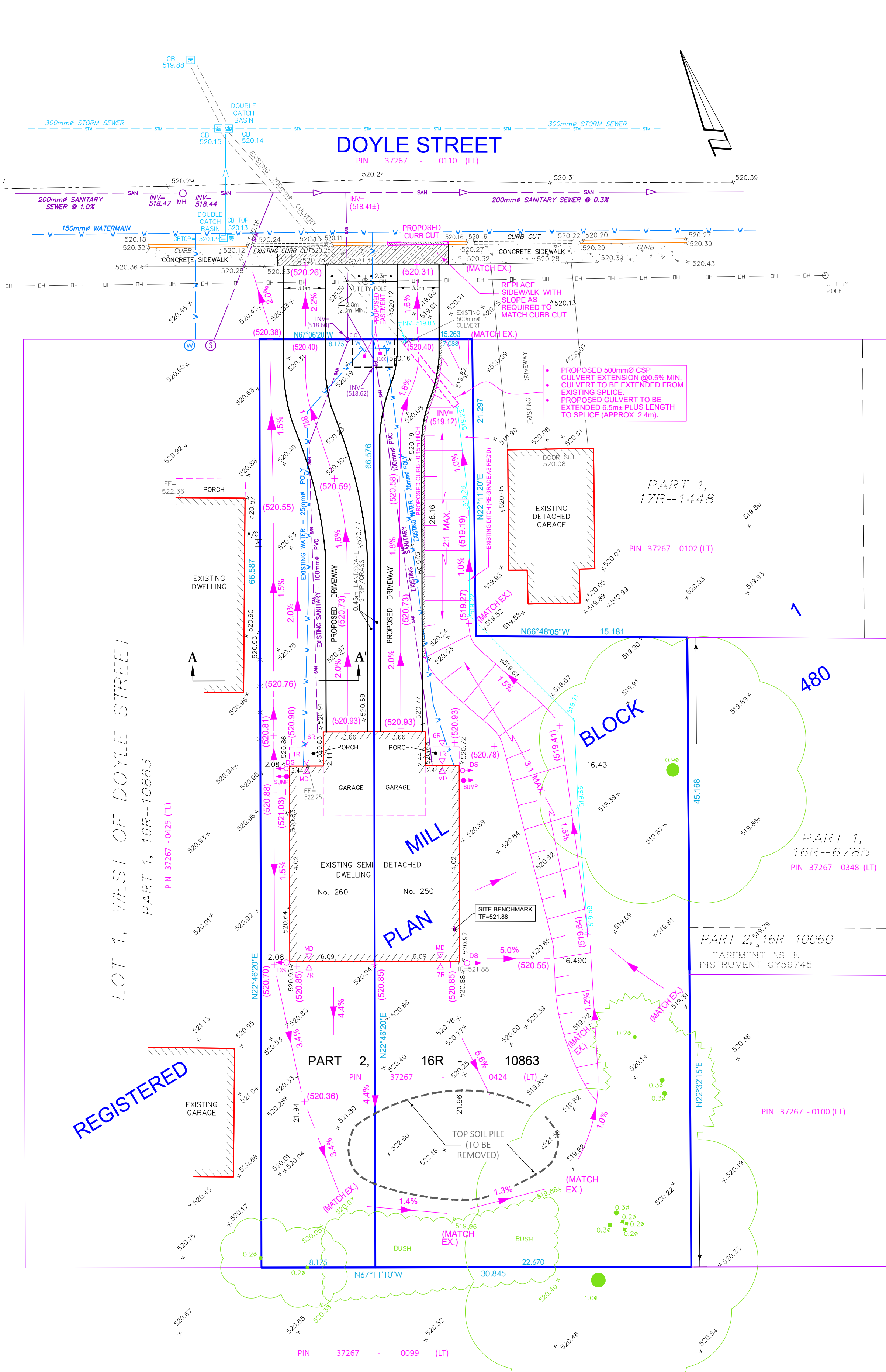
TYPICAL PIPE INSULATION DETAIL



CROSS-SECTION A-A'
N.T.S.



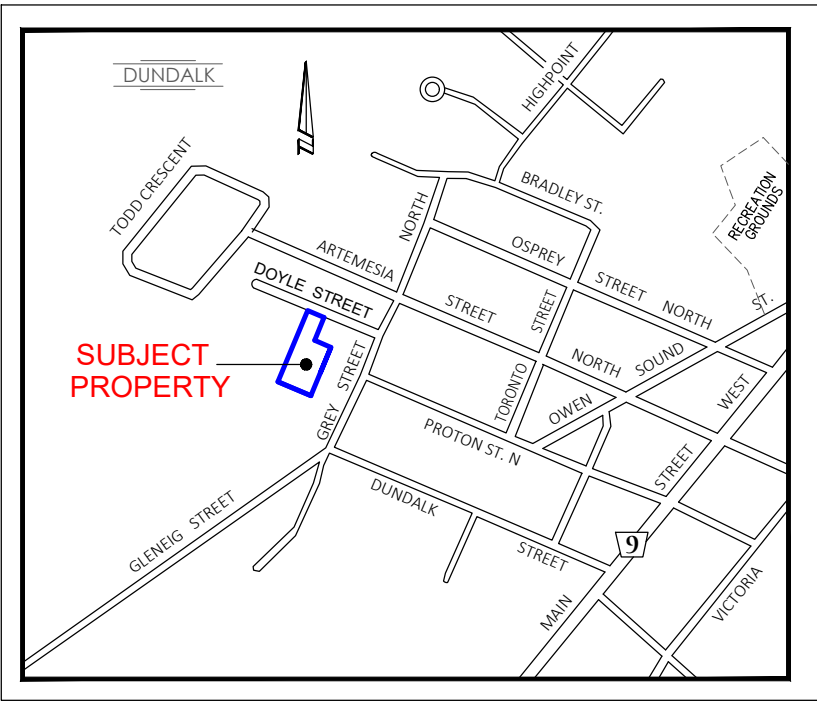
NOTE: PROPOSED SWALE TO BE 0.15m MIN. BELOW GRADE AT EXISTING DWELLING.



CALL BEFORE YOU DIG

THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY. PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.

KEYMAP:



PROPERTY DESCRIPTION:

- PIN 37267-0424 (LT) & PIN 37267-0425 (LT)
- ADDRESS: 250 & 260 DOYLE ST, DUNDALK
- PART OF MILL BLOCK 1, REGISTERED PLAN 480, GEOGRAPHIC VILLAGE OF DUNDALK, TOWNSHIP OF SOUTHGATE, COUNTY OF GREY

BEARING AND COORDINATE NOTE:

- BEARINGS ARE GRID BEARINGS AND ARE DERIVED FROM GPS OBSERVATIONS AND ARE REFERRED TO THE UTM PROJECTION, ZONE 17, NAD 83 (CSRS-2010) ADJUSTMENT.
- DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY AN AVERAGED COMBINED SCALE FACTOR OF 0.995447.
- COORDINATES ON THIS PLAN ARE UTM, ZONE 17, NAD83 (CSRS-2010) ADJUSTMENT AND ARE BASED ON GPS OBSERVATIONS FROM A NETWORK OF PERMANENT GPS REFERENCE STATIONS.

ZONING: RESIDENTIAL TYPE 3 ZONE (R3)

- MINIMUM LOT AREA = 350 m²
- MINIMUM LOT FRONTAGE = 10.0 m
- MINIMUM FRONT YARD = 9.0 m
- MINIMUM INTERIOR SIDE YARD = 2.0m
- MINIMUM REAR YARD = 9.0 m
- MAXIMUM LOT COVERAGE = 40%

EXISTING DWELLING:

TOP OF FOUNDATION	= (521.88 EX.)
UNDERSIDE OF FOOTING	= (519.34)
BASEMENT FLOOR	= (519.57)
FINISHED FLOOR	= (522.25 EX.)
GARAGE CUT	= (0.95)

SURVEY INFORMATION:

BENCHMARK REFERENCE:
ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CVG028 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTv2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.

SITE BENCHMARK:
BASED ON TOP OF FOUNDATION OF EXISTING DWELLING HAVING AN ELEVATION OF 521.88 METRES.

TOPOGRAPHIC SURVEY DATE:

THIS TOPOGRAPHIC SURVEY WAS COMPLETED ON THE 24th DAY OF JANUARY, 2022.

CAUTION: - THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.
- THIS SKETCH IS PROTECTED BY COPYRIGHT. ©

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SITE PLAN FOR:

**PART OF MILL BLOCK 1,
REGISTERED PLAN 480
BEING PARTS 1 AND 2, DEPOSITED PLAN 16R-10863
GEOGRAPHIC VILLAGE OF DUNDALK
TOWNSHIP OF SOUTHGATE
COUNTY OF GREY**

DRAWING REVISION Schedule

NO.	REVISION	DATE
1	REVISE DRIVEWAYS	JUNE 28-22
0	INITIAL SUBMISSION	APRIL 22-22

PREPARED FOR: STEVEN VERBEEK

PROJECT No. 30749-21

DRAWING SCALE 1 : 200

Van Harten
SURVEYING INC.
LAND SURVEYORS and ENGINEERS

Kitchener/Waterloo Ph: 519-742-8371	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
www.vanharten.com		info@vanharten.com
DRAWN BY: NCH	DESIGNED BY: WV	CHECKED BY: WV

Jun 27, 2022-9:53:16 AM
G:\DUNDALK (ALSO SEE ORANGEVILLE L)\480\ACAD\SITE PLAN PTBLOCK1 (30749-21 VERBEEK) UTM 2010 REV1.dwg



TOWNSHIP OF SOUTHGATE COMMITTEE OF ADJUSTMENT
NOTICE OF APPLICATION FOR CONSENT AND PUBLIC HEARING
The Planning Act, RSO 1990, as amended

TAKE NOTICE that the Township of Southgate Committee of Adjustment has appointed **June 22, 2022 at 9:00 am** for the purpose of a public hearing to be electronically at the following credentials:

Please join the meeting from your computer, tablet or smartphone

<https://global.gotomeeting.com/join/442563645>

You can also dial in using your phone. Canada: +1 (647) 497-9373 Access Code: 442-563-645 #

NOTE: If you wish to speak at the meeting, please register in advance by contacting the Secretary-Treasurer, Holly Malynyk using the below information.

The meeting will be recorded and uploaded to the Township YouTube Channel:

<https://www.youtube.com/user/SouthgateTownship>

APPLICATION FOR CONSENT - FILE NO. B3-22

OWNERS: Steven and Kendra Verbeek

SUBJECT LAND: Plan 480 Part Mill Block 1 RP16R10863 Part 2, Geographic Village of Dundalk. The lands are further described as 250 Doyle Street.

The Purpose is to sever the lot along the foundation wall to create two semi-detached lots. The severed lot will have 8.1m of frontage and have an area of 543m². The retained lot will have 7m of frontage and an area of 1173m². A 1.5m X 2m servicing easement will also be created on each parcel in favor of the other parcel.

The Effect would be to create two lots, one for each unit of the semi detached residence as well the servicing easements.

SEE SKETCH ATTACHED (reverse side)

Property owners within 60 metres of the subject land are hereby notified of the above application for consent. The property to be severed will be marked by a sign.

If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent does not make **written submission** to: Committee of Adjustment, Township of Southgate office before it gives or refuses to give a provisional consent, the Ontario Land Tribunal (OLT) may dismiss the appeal.

If you wish to be notified of the decision of the Committee of Adjustment in respect of the proposed consent, you must submit a written request to the undersigned.

Additional information regarding this application is available at

<https://www.southgate.ca/en/municipal-services/planning-applications-public-notices.aspx#B3-22-Steven-and-Kendra-Verbeek> OR by contacting Clinton Stredwick, Planner at 519-923-2110 Ext. 235 or email at planning@southgate.ca.

When requesting information please quote File No. **B3-22**

**HOLLY MALYNYK, SECRETARY-TREASURER,
COMMITTEE OF ADJUSTMENT FOR THE TOWNSHIP OF SOUTHGATE
185667 GREY RD 9, DUNDALK, ON N0C 1B0
(519) 923-2110 EXT 232 Toll Free 1-888-560-6607 FAX (519) 923-9262**

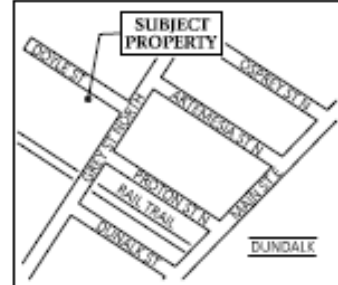


**Subject
Land**

SEVERANCE & MINOR VARIANCE SKETCH
PART OF MILL BLOCK 1, REGISTERED PLAN 480,
GEOGRAPHIC VILLAGE OF DUNDALK
TOWNSHIP OF SOUTHGATE
COUNTY OF GREY

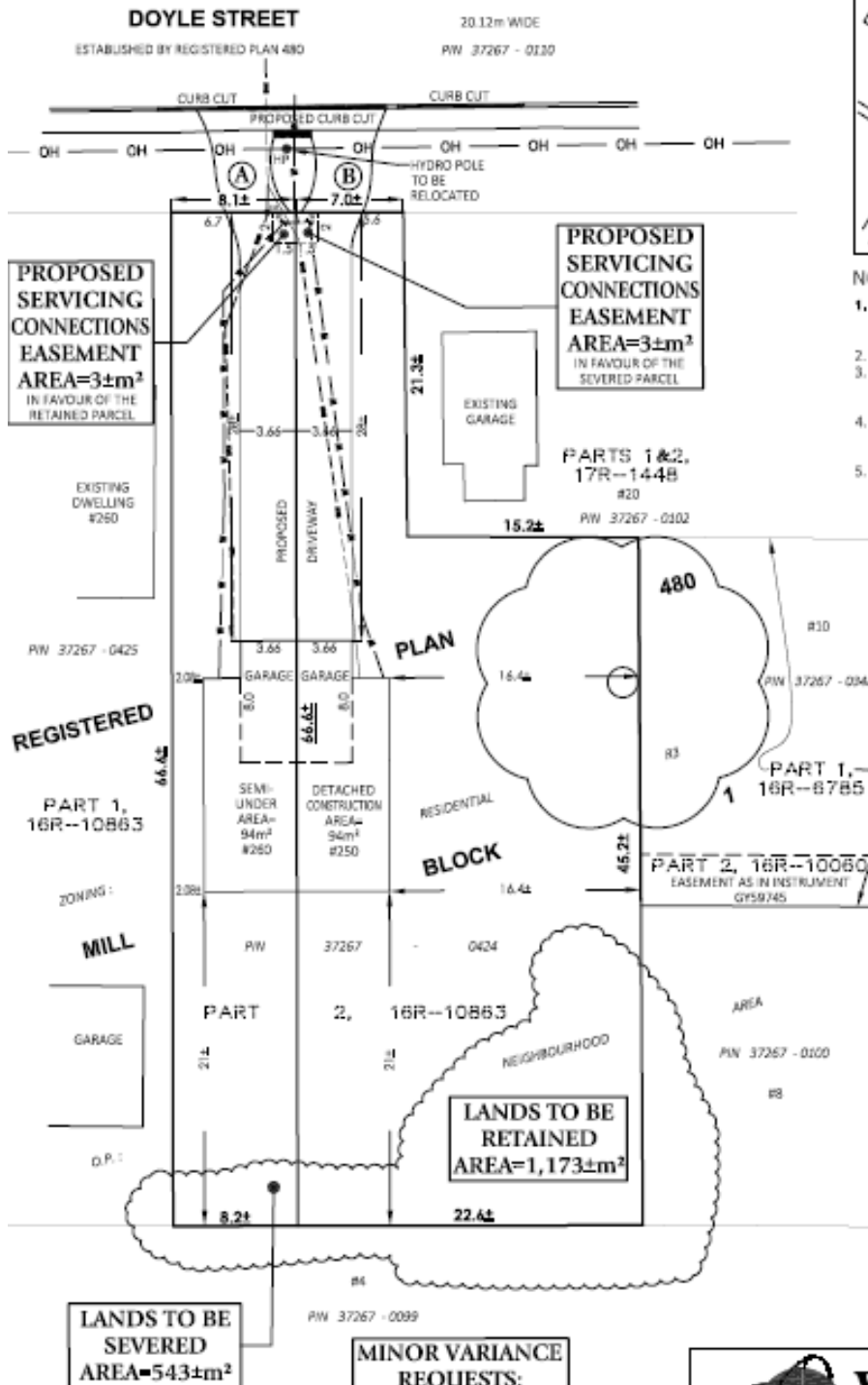
SCALE 1 : 300
 0 5 10 15 metres
 VAN HARTEN SURVEYING INC.

KEYMAP:



NOTES:

1. THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE USED FOR REAL ESTATE TRANSFERS OR MORTGAGES.
2. SUBJECT LANDS ARE ZONED RESIDENTIAL (R3).
3. SUBJECT LANDS HAVE AN OFFICIAL PLAN DESIGNATION OF NEIGHBORHOOD AREA & HAZARD LANDS.
4. DISTANCES ON THIS PLAN ARE SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
5. DIMENSIONS ON THIS SKETCH ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED BY SURVEY.



ZONING DESIGNATION: RESIDENTIAL TYPE 3 ZONE (R3)			
SEMI-DETACHED DWELLING			
REGULATIONS - SECTION 10.3	REQUIRED	SEVERED PARCEL	RETAINED PARCEL
MINIMUM Lot Frontage	10m	8.1m (A)	7.0m (B)
MINIMUM Lot Area	300m ²	543m ²	1,173m ²
MAXIMUM Lot Coverage	40%	17%	8%
MINIMUM Front Yard	9.0m	28m	28m
MINIMUM Interior Side Yard	2.0m	2.0m	35.4m
MINIMUM Rear Yard	9.0m	21m	21m
MINIMUM Gross Floor Area	79m ²	94m ² Ground Floor Area	94m ² Ground Floor Area

SURVEYOR'S CERTIFICATE:
 THIS SKETCH WAS PREPARED ON
 ON THE 25th DAY OF MAY, 2022

JEFFREY E. BUISMAN
 ONTARIO LAND SURVEYOR

Van Harten
 SURVEYING INC.
 LAND SURVEYORS AND ENGINEERS

Waterloo Ph: 519-742-8371 Guelph Ph: 519-823-2763 Orangeville Ph: 519-940-4110
 www.vanharten.com info@vanharten.com
 DRAWN BY: ARN CHECKED BY: JEB PROJECT NO: 20249-21
 May 25, 2022 9:37:34 AM
 G:\DUNDALK\ALSO SEE ORANGEVILLE\10480\ACAD\SEV LOT MILL 1 OVERBECK\UTM.dwg

From: [Planning Southgate](#)
To: [Holly Malynyk](#)
Subject: FW: 519-22-408 - Consent Application B3-22 - 250 Doyle Street
Date: June 6, 2022 9:05:35 AM

From: Hall, Charleyne <charleyne.hall@bell.ca>
Sent: June 3, 2022 12:41 PM
To: Planning Southgate <planning@southgate.ca>
Subject: 519-22-408 - Consent Application B3-22 - 250 Doyle Street

Good afternoon,

Bell Canada has no concerns with Application for Consent B3-22 regarding 250 Doyle Street.

Thank you,

Charleyne
(she/her)



Right of Way & Indigenous Relations Associate
140 Bayfield Street, Floor 2, Barrie ON L4M 3B1
T: 705-722-2264 Toll Free: 1-888-646-4817

Recognizing traditional territory of Haudenosaunee and Anishnaabeg Peoples; part of the Upper Canada Treaties.

From: planning@grey.ca
To: [Planning Southgate](#); [Lindsey Green](#); [Holly Malynyk](#)
Subject: County comments for A4-22 Verbeek & B3-22
Date: June 13, 2022 3:48:58 PM

County comments for A4-22 Verbeek & B3-22

Hello Southgate,

Please note that County Staff have reviewed Minor Variance application A4-22 and Consent B3-22, for Steven & Kendra Verbeek.

Per Appendix A, the subject lands are within a Wellhead Protection Area - D. The mapping is largely concerned with land use activities that include large storage of fuel or chemicals that may infiltrate local water supplies. Provided that the proposed semi-detached unit will be serviced by full municipal servicing and no significant storage of fuel or chemicals is proposed, the County generally has no concerns.

It appears that there may be an area of absent 'Hazard Lands' mapping on Schedule A of the County's OP. It is recommended that further comments be received from the Conservation authority.



Provided positive comments are received by the Conservation authority, the County has no further concerns.

Please note, a paper copy will not be provided unless requested.

Let us know if you have any questions.

Best regards,

Becky Hillyer

Planning & Development, Grey County, Owen Sound ON

From: [Ontario Lands](#)
To: [Holly Malynyk](#)
Subject: RE: Notice of Hearing - B3-22 Steven and Kendra Verbeek
Date: June 1, 2022 8:35:30 AM

Thank you for your correspondence with regard to the proposed Severance. Enbridge Gas Inc, (formerly Union Gas Ltd.), does have service lines running within the area which may or may not be affected by the proposed severance.

Should the proposed severance impact these services, it may be necessary to terminate the gas service and relocate the line according to the new property boundaries. Any Service relocation required due to a severance would be at the cost of the property owner. Also, should future gas service be required to either the severed or retained parcel, a request for gas service needs to be submitted to the Attachment Centre at 1-866-772-1045.

Should you require any further information, please contact the undersigned.

Kelly Buchanan

Land Analyst

—

ENBRIDGE GAS INC.

TEL: 519-436-4673 | FAX: 519-358-4271

50 Keil Dr N, Chatham ON N7M 5M1

enbridge.com

Safety. Integrity. Respect.

From: Holly Malynyk <hmalynyk@southgate.ca>

Sent: Tuesday, May 31, 2022 1:49 PM

To: Bell Canada ROWCC <rowcentre@bell.ca>; Bev Fisher <bfisher@southgate.ca>; Bluewater District School Board <shelley_crummer@bwdsb.on.ca>; Bluewater District School Board <jayme_bastarache@bwdsb.on.ca>; Bruce Grey Catholic School Board <al_hastie@bgcdsb.org>; Chris Lorenz - GRCA <clorenz@grandriver.ca>; Clinton Stredwick <cstredwick@southgate.ca>; Dave Milliner <dmilliner@southgate.ca>; Derek Malynyk <firechief@southgate.ca>; Ontario Lands <ONTLands@enbridge.com>; Group_PlanningDeptEmails <Group_PlanningDeptEmails@grey.ca>; Haudenosaunee Development Institute <hdi2@bellnet.ca>; hsmrcc@bmts.com; Hydro One <landuseplanning@hydroone.com>; Jim Ellis <jellis@southgate.ca>; Kevin Green <kgreen@southgate.ca>; Lacy Russell <lrussell@southgate.ca>; Meagan Bruce <M.Bruce@publichealthgreybruce.on.ca>; Metis Nation of Ontario <consultations@metisnation.org>; MMAH <Tyler.Shantz@ontario.ca>; Newdevelopment@rci.rogers.com; Ontario Power Generation <Executivevp.lawanddevelopment@opg.com>; Pegelo, Jessica - MTO <jessica.pegelo@ontario.ca>; Riel Warrilow <associate.ri@saugeenonjibwaynation.ca>; Six Nations of the Grand River <lonnybomberry@sixnations.ca>; ONTUGLLandsINQ <ONTUGLLandsINQ@enbridge.com>; William Gott <wgott@southgate.ca>; WSP on behalf of Bell <circulations@wsp.com>

Subject: [External] Notice of Hearing - B3-22 Steven and Kendra Verbeek

CAUTION! EXTERNAL SENDER

Were you expecting this email? TAKE A CLOSER LOOK. Is the sender legitimate?

DO NOT click links or open attachments unless you are 100% sure that the email is safe.

Good afternoon,

Please find the below link for the Notice of Public Hearing for Consent Application B3-22.

https://secure-web.cisco.com/1qEldFalpsh5-qxzSy8rN1FVmxAE55ot17gDE8HYkUyO6xc90SaPvPMfW5lHIN8rcASTZgLRJfTHrfiNwnDMk8_5gSbrUoAp3lQcO_glk59WU98N7xH-ljqYQFWO5OMekd4nuAHMAiSZ2ZpSTNQIZVeYojOrgnkhHHOF9KrzE2ld29xbFGErROtcBXi-bnaQuIDUNw1P3LuuHTeSiy3lO5qRs0Trbc2JCY6D7iR1J82XSbk_815BFwMnc71vPJPFHWbiy8CDU6bn4qLOViWr4oOz26BcsyuV5fbNB7XJyOOES0YPEr22WN8zdC82-mJY/https%3A%2F%2Fwww.southgate.ca%2Fen%2Fmunicipal-services%2Fplanning-applications-public-notices.aspx%23B3-22-Steven-and-Kendra-Verbeek

The hearing has been scheduled for **June 22, 2022 at 9:00AM**. Comments will be received on the above notification up until the hearing date, but if possible, please forward by **June 15, 2022** for inclusion on the public agenda.

Comments can be received by:

Email: hmalynyk@southgate.ca

Fax: 519-923-9262 Attn: Holly Malynyk

Mail: Holly Malynyk Secretary-Treasurer
185667 Grey County Road 9
Dundalk, ON N0C 1B0

Thank you for your attention to this matter.

Holly Malynyk
Administrative and Legislative Assistant
Township of Southgate

185667 Grey County Road 9, Dundalk, ON N0C 1B0

519-923-2110 ext. 233 | Fax 519-923-9262

hmalynyk@southgate.ca | [http://secure-](https://secure-web.cisco.com/1flt64r6KA5SMOsMWEZsZ48trOwcEtMRMkzKMBjS2IPTJCfH04s2IrvCgZdtUy7_-eQA6m2TvSKcjniV4fdEhKMRqvBu1dCEL9m4DtcwSekUijFOAyunuJjDt_dk3AKCoB3rVFyHk04LthyE5h3ZpFhjvkQh5P0_oFNYY9SOxu3BmMmu0KnY5Xs5X9Mzb8UspJfmju_oUMOa56sHnJNnNwxu65Wby-j3Txxar160Vuz3wVYWo_2g3_sgDBCqMhTsIDRfuOm3VUMMYBUU0M1SOsHdVowbmhrck01kNoXENWy5ywjRVgIz7jEKsnI-MYDwZ/http%3A%2F%2Fwww.southgate.ca)

[web.cisco.com/1flt64r6KA5SMOsMWEZsZ48trOwcEtMRMkzKMBjS2IPTJCfH04s2IrvCgZdtUy7_-eQA6m2TvSKcjniV4fdEhKMRqvBu1dCEL9m4DtcwSekUijFOAyunuJjDt_dk3AKCoB3rVFyHk04LthyE5h3ZpFhjvkQh5P0_oFNYY9SOxu3BmMmu0KnY5Xs5X9Mzb8UspJfmju_oUMOa56sHnJNnNwxu65Wby-j3Txxar160Vuz3wVYWo_2g3_sgDBCqMhTsIDRfuOm3VUMMYBUU0M1SOsHdVowbmhrck01kNoXENWy5ywjRVgIz7jEKsnI-MYDwZ/http%3A%2F%2Fwww.southgate.ca](https://secure-web.cisco.com/1flt64r6KA5SMOsMWEZsZ48trOwcEtMRMkzKMBjS2IPTJCfH04s2IrvCgZdtUy7_-eQA6m2TvSKcjniV4fdEhKMRqvBu1dCEL9m4DtcwSekUijFOAyunuJjDt_dk3AKCoB3rVFyHk04LthyE5h3ZpFhjvkQh5P0_oFNYY9SOxu3BmMmu0KnY5Xs5X9Mzb8UspJfmju_oUMOa56sHnJNnNwxu65Wby-j3Txxar160Vuz3wVYWo_2g3_sgDBCqMhTsIDRfuOm3VUMMYBUU0M1SOsHdVowbmhrck01kNoXENWy5ywjRVgIz7jEKsnI-MYDwZ/http%3A%2F%2Fwww.southgate.ca)

From: [Chris Lorenz](#)
To: [Holly Malynyk](#)
Subject: RE: Notice of Hearing - B3-22 Steven and Kendra Verbeek
Date: May 31, 2022 2:20:28 PM

Good afternoon Holly,

The subject property does not contain lands regulated by the GRCA and as such we will not be providing comment.

Thank you,

Chris Lorenz, M.Sc.
Resource Planner
Grand River Conservation Authority

Office: 519-621-2763 ext. 2236

Email: clorenz@grandriver.ca

www.grandriver.ca | [Connect with us on social](#)

From: Holly Malynyk <hmalynyk@southgate.ca>

Sent: May 31, 2022 1:49 PM

To: Bell Canada ROWCC <rowcentre@bell.ca>; Bev Fisher <bfisher@southgate.ca>; Bluewater District School Board <shelley_crummer@bwdsb.on.ca>; Bluewater District School Board <jayne_bastarache@bwdsb.on.ca>; Bruce Grey Catholic School Board <al_hastie@bgcdsb.org>; Chris Lorenz <clorenz@grandriver.ca>; Clinton Stredwick <cstredwick@southgate.ca>; dmilliner@southgate.ca; firechief@southgate.ca; Enbridge Gas <ONTLands@enbridge.com>; Group_PlanningDeptEmails <Group_PlanningDeptEmails@grey.ca>; Haudenosaunee Development Institute <hdi2@bellnet.ca>; hsmrcc@bmts.com; Hydro One <landuseplanning@hydroone.com>; jellis@southgate.ca; Kevin Green <kgreen@southgate.ca>; Lacy Russell <lrussell@southgate.ca>; Meagan Bruce <M.Bruce@publichealthgreybruce.on.ca>; Metis Nation of Ontario <consultations@metisnation.org>; MMAH <Tyler.Shantz@ontario.ca>; Newdevelopment@rci.rogers.com; Ontario Power Generation <Executivevp.lawanddevelopment@opg.com>; Pegelo, Jessica - MTO <jessica.pegelo@ontario.ca>; Riel Warrilow <associate.ri@saugeenonjibwaynation.ca>; Six Nations of the Grand River <lonnybomberry@sixnations.ca>; Union Gas <ontugllandsinq@uniongas.com>; William Gott <wgott@southgate.ca>; WSP on behalf of Bell <circulations@wsp.com>

Subject: Notice of Hearing - B3-22 Steven and Kendra Verbeek

Good afternoon,

Please find the below link for the Notice of Public Hearing for Consent Application B3-22.

<https://www.southgate.ca/en/municipal-services/planning-applications-public-notice.aspx#B3-22-Steven-and-Kendra-Verbeek>

The hearing has been scheduled for **June 22, 2022 at 9:00AM**. Comments will be received on the above notification up until the hearing date, but if possible, please forward by **June 15, 2022** for inclusion on the public agenda.

Comments can be received by:

Email: hmalynyk@southgate.ca

Fax: 519-923-9262 Attn: Holly Malynyk

Mail: Holly Malynyk Secretary-Treasurer
185667 Grey County Road 9
Dundalk, ON N0C 1B0

Thank you for your attention to this matter.

Holly Malynyk
Administrative and Legislative Assistant
Township of Southgate

📍 185667 Grey County Road 9, Dundalk, ON N0C 1B0

☎ 519-923-2110 ext. 233 | Fax 519-923-9262

✉ hmalynyk@southgate.ca | www.southgate.ca

From: hsmrcc@bmts.com
To: [Holly Malynyk](#)
Subject: Request for Comments - Southgate (Verbeek) - proposed Consent
Date: June 1, 2022 1:20:43 PM

Your file: B03-22

Our file: Southgate Municipality

Ms. Malynyk,

The Historic Saugeen Métis (HSM) Lands, Resources and Consultation Department has reviewed the relevant documents and have no objection or opposition to the proposed Consent application as presented.

Thank you for the opportunity to review this matter.

Regards,

Chris Hachey
Coordinator, Lands, Resources & Consultation
Historic Saugeen Métis
email: hsmrcc@bmts.com
phone: 519-483-4000
site: saugeenmetis.com
address: 204 High Street Southampton, ON

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From: [LANDUSEPLANNING](#)
To: [Holly Malynyk](#)
Subject: Southgate - 260 Doyle Street - B3-22
Date: June 13, 2022 12:30:35 PM
Attachments: [image001.png](#)

Hello,

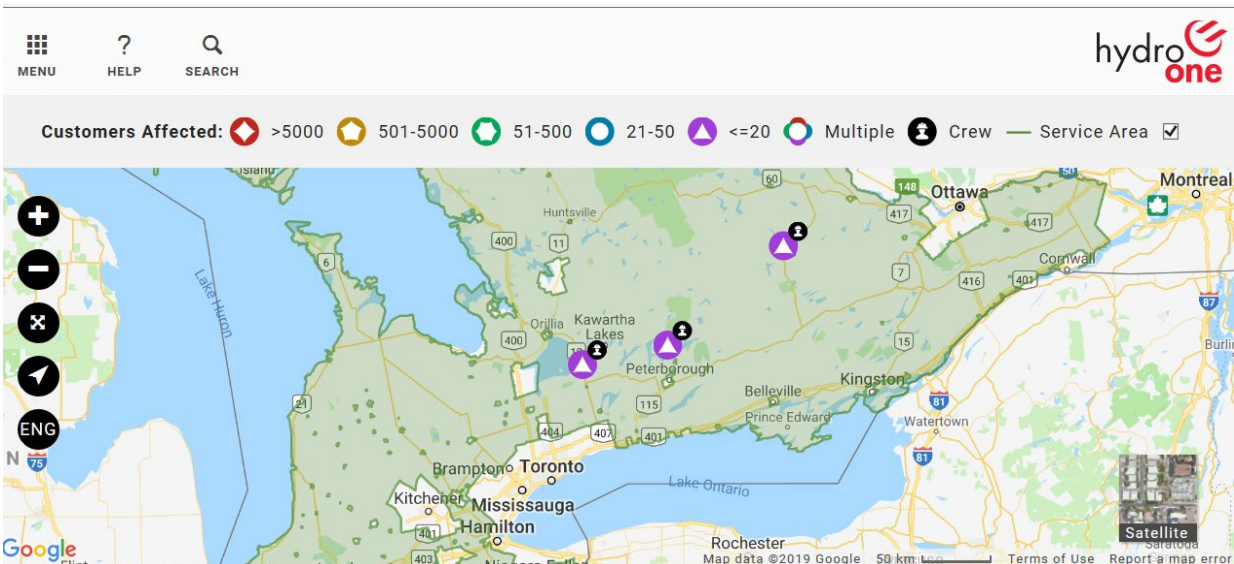
We are in receipt of your Consent Application, B3-2 dated May 31, 2022. We have reviewed the documents concerning the noted Plan and have no comments or concerns at this time. **Our preliminary review considers issues affecting Hydro One's 'High Voltage Facilities and Corridor Lands' only.**

For proposals affecting 'Low Voltage Distribution Facilities' please consult your local area Distribution Supplier.

To confirm if Hydro One is your local distributor please follow the following link:

<http://www.hydroone.com/StormCenter3/>

Please select "Search" and locate address in question by entering the address or by zooming in and out of the map



If Hydro One is your local area Distribution Supplier, please contact Customer Service at 1-888-664-9376 or e-mail CustomerCommunications@HydroOne.com to be connected to your Local Operations Centre

Thank you,

Kitty Luk

Real Estate Assistant | Land Use Planning

Hydro One Networks Inc.

185 Clegg Road
Markham, ON | L6G 1B7

Email: landuseplanning@hydroone.com

From: Holly Malynyk <hmalynyk@southgate.ca>

Sent: Tuesday, May 31, 2022 1:49 PM

To: Bell Canada ROWCC <rowcentre@bell.ca>; Bev Fisher <bfisher@southgate.ca>; Bluewater District School Board <shelley_crummer@bwdsb.on.ca>; Bluewater District School Board <jayme_bastarache@bwdsb.on.ca>; Bruce Grey Catholic School Board <al_hastie@bgcdsb.org>; Chris Lorenz - GRCA <clorenz@grandriver.ca>; Clinton Stredwick <cstredwick@southgate.ca>; Dave Milliner <dmilliner@southgate.ca>; Derek Malynyk <firechief@southgate.ca>; Enbridge Gas <ONTLands@enbridge.com>; Group_PlanningDeptEmails <Group_PlanningDeptEmails@grey.ca>; Haudenosaunee Development Institute <hdi2@bellnet.ca>; hsmrcc@bmts.com; LANDUSEPLANNING <LandUsePlanning@HydroOne.com>; Jim Ellis <jellis@southgate.ca>; Kevin Green <kgreen@southgate.ca>; Lacy Russell <lrussell@southgate.ca>; Meagan Bruce <M.Bruce@publichealthgreybruce.on.ca>; Metis Nation of Ontario <consultations@metisnation.org>; MMAH <Tyler.Shantz@ontario.ca>; Newdevelopment@rci.rogers.com; Ontario Power Generation <Executivevp.lawanddevelopment@opg.com>; Pegelo, Jessica - MTO <jessica.pegelo@ontario.ca>; Riel Warrilow <associate.ri@saugeenojibwaynation.ca>; Six Nations of the Grand River <lonnybomberry@sixnations.ca>; Union Gas <ontugllandsinq@uniongas.com>; William Gott <wgott@southgate.ca>; WSP on behalf of Bell <circulations@wsp.com>

Subject: Notice of Hearing - B3-22 Steven and Kendra Verbeek

***** Exercise caution. This is an EXTERNAL email. DO NOT open attachments or click links from unknown senders or unexpected email. *****

Good afternoon,

Please find the below link for the Notice of Public Hearing for Consent Application B3-22.

<https://www.southgate.ca/en/municipal-services/planning-applications-public-notices.aspx#B3-22-Steven-and-Kendra-Verbeek>

The hearing has been scheduled for **June 22, 2022 at 9:00AM**. Comments will be received on the above notification up until the hearing date, but if possible, please forward by **June 15, 2022** for inclusion on the public agenda.

Comments can be received by:

Email: hmalynyk@southgate.ca
Fax: 519-923-9262 Attn: Holly Malynyk
Mail: Holly Malynyk Secretary-Treasurer
185667 Grey County Road 9
Dundalk, ON N0C 1B0

Thank you for your attention to this matter.

Holly Malynyk
Administrative and Legislative Assistant
Township of Southgate

📍 185667 Grey County Road 9, Dundalk, ON N0C 1B0
☎ 519-923-2110 ext. 233 | Fax 519-923-9262
✉ hmalynyk@southgate.ca | www.southgate.ca

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Township of Southgate

185667 Grey County Road 9,
Dundalk, ON N0C 1B0

Jim Ellis,

Public Works Manager / Risk Management Official

jellis@southgate.ca



Phone: 519-923-2110 ext. 250

Toll Free: 1-888-560-6607

Fax: 519-923-9262

Cell: 519-378-3777

Public Works Department

Date: June 2, 2022

File No.: A4 & B3 -22

Can a safe access be provided? Yes ☒ No ☐

Road Drainage Concern: Stormwater system as per submitted drainage plan

Road Standard: Urban asphalt

Road Widening Necessary? Yes ☐ No ☒

Entrance Requirements: Curb cut required for entrance

Load Restricted Road: Yes ☒ No ☐

Comments:

Hydro pole to be relocated from middle of driveways

All site works at the owner's expense

Road & sidewalk damages from contractors' excavator from servicing installs in 2021 will be repaired as noted last year at the owners expense.

Risk Management Office

Property is located in a Well Head Protection Area:

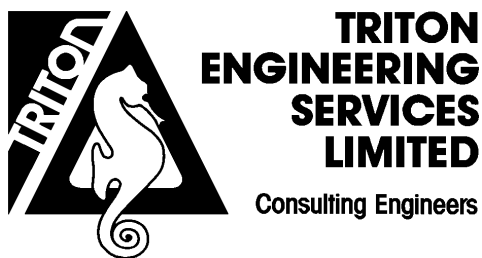
- ☐ WHPA "A"
- ☒ WHPA "B"
- ☐ WHPA "C"
- ☐ WHPA "D"
- ☐ Not Applicable

Comments:

Well Head Protection Area "B" - Applicable to Dense Non- Aqueous Phase Liquid (DNAPL's) products managed by education and outreach programs.

Signed: _____

Jim Ellis, Public Works Manager / Risk Management Official



Memorandum

DATE: July 13, 2022
TO: Will Verwey
Cc. Jim Ellis & Clint Stredwick
FROM: Dustin Lyttle
RE: Site Plan Application
250 Doyle St., Dundalk
Submission No.3
Engineering Review Memo
FILE: A4178A

Submitted Items:

- Site Plan for Zeke Verbeek, Part of Mill Block 1, Registered Plan 480, Village of Dundalk, Municipality of Southgate, County of Grey, Revision No. 1, dated June 28, 2022, prepared by Van Harten Surveying Inc.

Submission No.1 Comments:

General:

1.1 – 1.10 **Addressed.**

- 1.11 Sediment/erosion controls are to be implemented as necessary to contain sediment on the subject property. **Pending; silt fencing is to be indicated.**
- 1.12 Storm service(s) are to be provided. *Note: If both units are equipped with a sump pump, then two Storm Services are required. Pending, storm service for 260 Doyle can be provided by connecting to the existing double catchbasin. Storm service for 250 Doyle can be provided by connecting to the culvert.*
- 1.13 **Addressed.**

Driveways & Entrances:

1.14 – 1.17 **Addressed.**

Water Servicing:

- 1.18 Details regarding the curb-stops are to be indicated on the plans. Individual Curb-stops are to be provided for each unit and located at (or near) road property line. Note: it is preferred that curb-stops not be provided in the driveway. **Pending; frost collars are to be installed on curb stops if they are to be installed in the driveway.**
- 1.19 – 1.21 **Addressed.**

Current Submission Comments:

- 2.1 Sanitary and water services are to split within the Municipal ROW. Clean-outs and curb-stops are to be provided at the property line.
- 2.2 Indicate sidewalk restoration details as per Southgate MSS and reference appropriate OPSD.
- 2.3 Update key plan to match with applicable site.
- 2.4 Additional grades and section are to be provided between proposed driveway and neighbouring property to the east (20 Grey St.). What is the intent of the curb provided?

If you have any questions, please contact us.

Uldis Lieknins
20 Grey Street E.
Dundalk, On
N0C1B0

July 18, 2022

To Whom it May Concern:

I, Uldis Lieknins of 20 Grey Street E., Dundalk, who's property backs onto Steven and Kendra Verbeek's property at 250 Doyle Street agree to accept the Verbeek's putting in a culvert on their property where it meets with mine.

Please call me at [REDACTED] should you require any further information regarding this letter.

Thanks,
[REDACTED]

Uldis Lieknins

Township of Southgate
Administration Office
185667 Grey Road 9, RR 1
Dundalk, ON N0C 1B0



Phone: 519-923-2110
Toll Free: 1-888-560-6607
Fax: 519-923-9262
Web: www.southgate.ca

Staff Report PL2022-045

Title of Report: PL2022-045-B3-22 Verbeek
Department: Planning
Committee Date: 22/06/2022

Recommendation:

Be it resolved that the Committee of Adjustment receive Staff Report PL2022-045 for information; and

That the severance be approved with the following conditions:

1. That the public works department is satisfied that each lot has its own water and sewer connection.
2. That all fees, charges and any damages to road and sidewalk already caused are paid.
3. That a Minor Variance is approved granting relief from the minimum lot frontage requirements. The new lot frontage standard will be 7m.
4. That the easements for servicing indicated on the draft survey be registered, each in favour of the other lot.

Property Location: The property is described as plan 480 Part Mill Block 1 RP16R10863 (Geographic Village of Dundalk) in the Township of Southgate. Alternatively described as 250 Doyle St.

Key MAP



The proposal:

The proposal is to create a new lot so that each semi detached unit has its own lot and can be sold individually. Each lot has frontage along Doyle Street. The severed lot will have a frontage of 8.1m and an area of 543m² while the retained lot will have a frontage of 7.0m and an area of 1173m². (Attachment#1)

Background:

The lands have been zoned previously to Residential Type 3 which permits a semi detached residential dwelling on it. A residential dwelling has been constructed and now the owners wish to sever the lot in two to have each unit of the semi as a freehold unit. A minor variance is required to reduce the frontage requirement to permit the proposed severance and has been applied for.

The link to the online file for Minor variance is below:

<https://www.southgate.ca/en/municipal-services/planning-applications-public-notices.aspx#A4-22-Steven-and-Kendra-Verbeek>

The link to the online consent file is below:

<https://www.southgate.ca/en/municipal-services/planning-applications-public-notices.aspx#Consent-Applications>

A Public Hearing for the Consent is being held on June 22, 2022 and the comments received to date include:

County of Grey indicates that provided positive comments are received from the Conservation Authority, the County has no further concerns.

Public works indicates that the stormwater system shall be constructed as per the drainage plan submitted, a curb cut is required at the entrance. The hydro pole is to be relocated from the middle of the shared driveway at the owners expense. All road and Sidewalk damages from 2021 shall be repaired at the owners expense.

Grand River Conservation Authority has no concerns.

Bell has no concerns

Enbridge Gas- has no concerns and notes that the service lines in the area, if required to be moved, will be at the owners expense.

HSM- has no concern or objection

No comments have been received from members of the public as of the date of writing report.

Staff comments:

All applications are required to conform with and be consistent with Provincial Policy, County Official Plan Policy and Township Official Plan Policy.

Policy Review:**Provincial Policy Statement**

The provincial policy statement provides general guidance for growth and development. Growth is generally directed to settlement areas of which Dundalk is one. Lot creation is permitted within settlement areas provided that the lots can be adequately serviced and do not require the expansion of existing municipal infrastructure.

The PPS also promotes and encourages intensification within existing settlement areas on full municipal services as a means to reduce Urban Sprawl and more efficiently utilize existing services.

The proposal is consistent with the PPS directive to direct growth to settlement areas and intensify existing development on full services. Both the severed and retained lands will be fully serviced with Township water and sewer services.

The proposal is consistent with the PPS.

Official Plan:

The Township Official Plan designates the subject lands as Neighbourhood Area. The Neighbourhood Area designation section 4.1.1(v) permits residential development and limited infill and intensification development provided that the lots can be adequately serviced.

Infill development is defined in the Official Plan as four lots or less, therefore, the proposal is considered infill development.

These lots (severed and retained) will both be fully serviced by water and sewer services and parking can and will be accommodated on each lot.

Section 4.1.2(4) reviews the Development criteria for Infilling.

- i. The proposal does not require the major extension of municipal services.
- ii. The proposed lots have direct access to a public road which meets minimum standards.
- iii. The proposed lots can be adequately serviced by adequate community facilities, including schools and parks.
- iv. The proposed lots would not impede the traffic flow along arterial or collector roads or create a traffic hazard due to limited sightlines.

- v. Infilling shall be defined as the creation of up to four (4) new lots by consent.

The proposal meets all of the above criteria. With respect to subsection (ii) the proposed lot have direct access to a public road being Doyle Street. The proposal in my opinion, meets the intent of this standard and is therefore consistent with the policy.

Section 4.1.4 provides policy for lot creation and indicates consents may be permitted subject to the following:

- i) residential infilling
- ii) Creation of non residential parcels will be subject to Site Plan Control
- iii) The lot size and configuration of both the parcel to be severed and the parcel to be retained should be in keeping with the surrounding area; and
- iv) Consents shall be prohibited where a plan of subdivision is the more appropriate process of creating lots and in the following circumstances:
 - 1. where development exceeds the definition of infilling
 - 2. where the extension of a public road would be required
 - 3. where the extension of municipal services is required; and
 - 4. Where it is apparent that an application for a consent could be one of several similar applications from the original holding.

Comment: The proposal is considered residential infilling and a plan of subdivision would not be appropriate. The severed and retained lots appropriately sized despite not having sufficient frontage. The development would also mirror the lots that have been created across the road on Doyle Street for the purposes of creating a semi detached lot. The proposal is compatible with the surrounding lot development and promotes intensification along Doyle and utilizes existing services.

Because the lots can be serviced and are considered intensification and infill lots the proposal is consistent with the intent and policies of the Township of Southgate Official plan.

Comprehensive Zoning Bylaw:

The lands are currently zoned Residential Type Three (R3). An existing semidetached structure has been constructed on the property. Unfortunately the original intent for the lot was to rent the semi detached structure. Now that it is proposed to be severed and sold as free hold units the proposal would require relief from the lot frontage requirements. The minimum requirement for lot frontage is 10m and the proposed is 8.1m and 7m respectively. All other provisions of the by-law will continue to apply. The purpose of the frontage is to ensure that there is adequate space for an entrance and driveway lane as well as at least 1m of separation from the neighboring properties. It also provides room for servicing. Assuming a drive way width of at least 4m and a 1m separation from the neighbouring property each unit will still have the required frontage to allow for servicing. Unfortunately, the servicing is already in the ground under the driveway. From a by-law perspective however, the proposal

meets the intent of the by-law provided. If this application is approved, an easement is required to be registered for the servicing onto the lots, each in favour of the other, as indicated on the survey plan.

There is also an approved semi detached unit directly across the road which will have a similar lot frontage of approximately 8m.

Financial Implications:

None.

Concluding Comments:

Based on the above, in my professional opinion, the proposal is consistent with policy and it is recommended that the Council receive this staff report and consider approval of the proposed consent with the conditions listed above.

Respectfully Submitted,

Municipal Planner:

Original Signed By

Clinton Stredwick, BES, MCIP, RPP



CAO Approval:

Original Signed By

Dave Milliner, CAO

Attachment(s):

1. Consent sketch

LEGEND:

—□—	DENOTES SURVEY MONUMENT SET		DECIDUOUS TREE
—■—	DENOTES SURVEY MONUMENT FOUND		CONIFEROUS TREE
IB	DENOTES .015 X .015 X 0.60 IRON BAR		TO BE REMOVED
SIB	DENOTES .025 X .025 X 1.20 STANDARD IRON BAR		
SSIB	DENOTES .025 X .025 X 0.60 SHORT STANDARD IRON BAR		
MTE	DENOTES MTE ONTARIO LAND SURVEYORS LTD.		
892	DENOTES J. G. FLAHERTY, O.L.S.		
982	DENOTES H. R. WHALE, O.L.S.		
P1	DENOTES DEPOSITED PLAN 61R-22110		
T/C	DENOTES TOP OF CURB		
T/W	DENOTES TOP OF WALL		
RWALL	DENOTES RETAINING WALL		
GAS LINE			
OVERHEAD HYDRO			
CENTERLINE OF ROAD			
WATER LINE			
SANITARY SEWER			
STORM SEWER			
DIRECTION OF FLOW			
SILT FENCING			
PROPOSED CULVERT			
EXISTING ELEVATION			
PROPOSED ELEVATION			
GAS METER			
HYDRO METER			
HYDRO POLE			
DOWNSPOUT			
SUMP PUMP/DISCHARGE			
WATERVALVE			
SANITARY CLEAN-OUT			
PROPOSED CBMH			

NOTES:

- MATCH TO EXISTING GRADE AT ALL LOT LINES. ATTEMPTS ARE TO BE MADE TO ENSURE ANY ABUTTING LOTS WITH DRAINAGE OUTLETING ONTO THE SUBJECT PROPERTY WILL CONTINUE TO DO SO.
- THE OWNER ACKNOWLEDGES THAT THE PROPOSED GRADING DOES NOT MEET TOWNSHIP STANDARDS. DUE TO CONSTRAINTS OF THE ELEVATIONS OF THE ABUTTING LOTS, MINIMAL SLOPE IS AVAILABLE TO CREATE SURFACE RUN-OFF. THE DESIGN MAKES EVERY ATTEMPT TO PROVIDE AN OUTLET FOR THE SURFACE DRAINAGE. PONDING AND SLOW DRAINAGE RUN-OFF MAY OCCUR FROM TIME TO TIME.
- DOWNSPOUTS TO DISCHARGE TO SWALES AND CANNOT BE REDIRECTED TOWARDS ABUTTING DWELLINGS.
- DRIVEWAY TO BE CONSTRUCTED WITH MINIMUM 150mm GRANULAR 'A' BASE, 150mm GRANULAR 'B' SUB BASE.
- BUILDER IS RESPONSIBLE TO COORDINATE WITH HYDRO, GAS AND OTHER UTILITIES.
- PROPOSED 3:1 SLOPES AND 2:1 SLOPES MAY BE REDUCED OR SUPPLEMENTED WITH LANDSCAPE WALLS AT THE DISCRETION OF THE BUILDER.
- DRIVEWAY TO BE CURBED (MIN. 0.15m HIGH) AND PROPOSED 2:1 SLOPE TO EXISTING DITCH.
- DRIVEWAY RAMP (WITHIN MUNICIPAL RIGHT-OF-WAY) TO BE ASPHALT (MIN. 50mm HL3)
- ALL DISTURBED AREAS TO BE TOPSOILED (200mm MIN.) AND SODDED/SEEDED. WITHIN THE MUNICIPAL RIGHT-OF-WAY, SOD IS REQUIRED.
- WRITTEN PERMISSION FROM THE ABUTTING PROPERTY OWNER IS REQUIRED IF GRADING EXTENDS ONTO THEIR LANDS.
- RESTORE SIDEWALK AND CURB AS REQUIRED AS PER SOUTHGATE MSS AND OPSD 310.020, 310.050 (SIDEWALK) AND 600.040 (CURB).

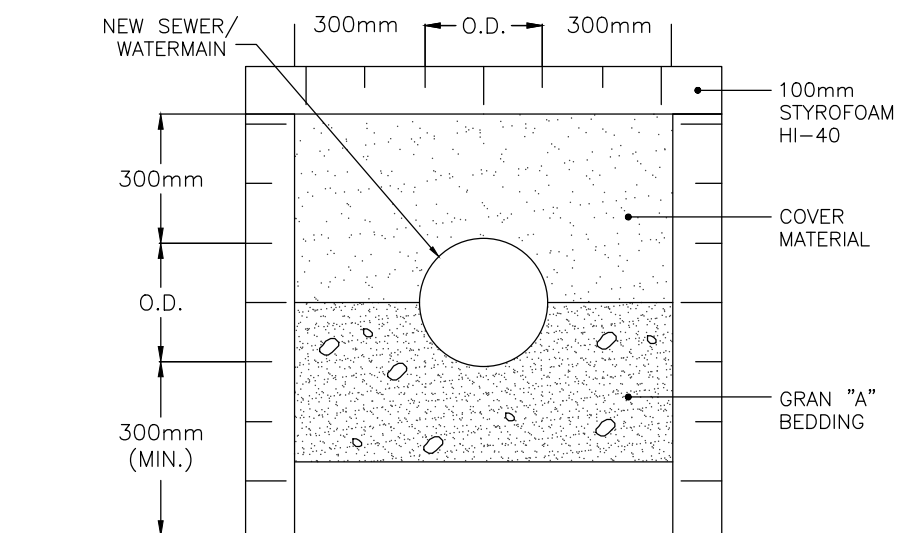
SEDIMENT AND EROSION CONTROL NOTES:

- ALL SILT FENCING TO BE INSPECTED AND INSTALLED PRIOR TO THE COMMENCEMENT OF ANY GRADING OR EXCAVATING.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ANY ADDITIONAL EROSION CONTROL MEASURES.
- ALL EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED BY RESTORATION OF GROUND COVER.
- ANY DISTURBED AREAS NOT UNDER ACTIVE CONSTRUCTION ARE TO BE STABILIZED WITH TOPSOIL AND SEED/SOD.
- ANY MUD/DEBRIS TRACKING ONTO MUNICIPAL ROAD ALLOWANCES WILL BE CLEANED UP BY THE END OF THE WORK DAY (DAILY).

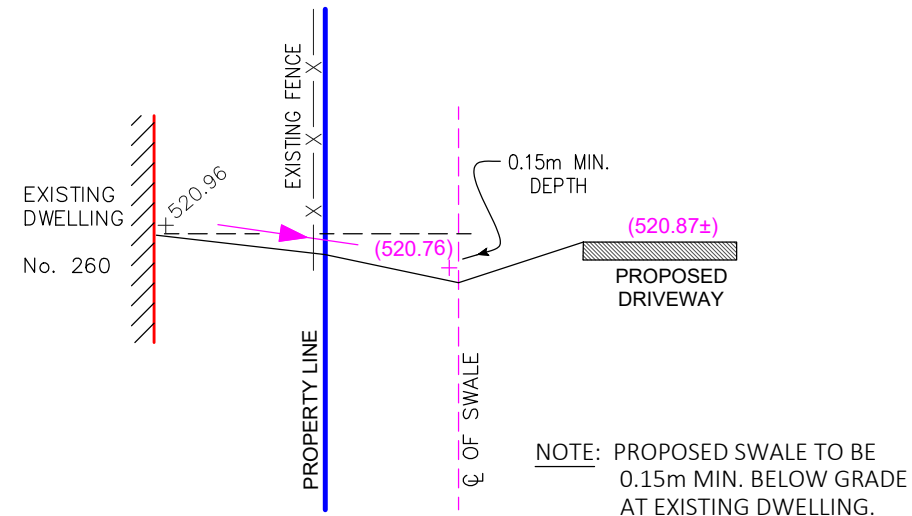
SERVICING NOTES:

- SUMP PUMPS TO DISCHARGE TO GRADE.
- IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT THE PROPOSED UNDERSIDE OF FOOTING WILL ALLOW A GRAVITY SANITARY SEWER CONNECTION.
- THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY AND BASED ON ENGINEERING DRAWINGS P2, GEN, LGR2 AND XS BY WMI & ASSOCIATES LTD, AND ADDITIONAL LOCATES BY SCOTT BETTS.
- PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.
- 1.0m MINIMUM SEPARATION BETWEEN SEWER (SANITARY AND STORM) AND WATER SERVICE CONNECTIONS.
- WATER SERVICE (PRIVATE SIDE) IS 25mm DIA. (1" O.D., 7/8" I.D.) IPEX BLUE 904 POLY.
- SANITARY SERVICE (PRIVATE SIDE) IS 100mm DIA. PVC SDR.28 AT 2.0% MIN. MINIMUM SLOPE. CLEAN OUTS LOCATED AS SHOWN.
- WATER SERVICE TO BE INSULATED IF LESS THAN 2.0m GROUND COVER IS PROVIDED.
- ALL WORKS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE TO BE COMPLETED IN CONFORMANCE WITH TOWNSHIP MUNICIPAL SERVICING STANDARDS AND APPLICABLE OPSPS/OPSDs. A LIST OF ALL MATERIALS, FIXTURES AND APPURTENANCES IS TO BE SUBMITTED TO THE TOWNSHIP FOR REVIEW/APPROVAL PRIOR TO INSTALLATION.

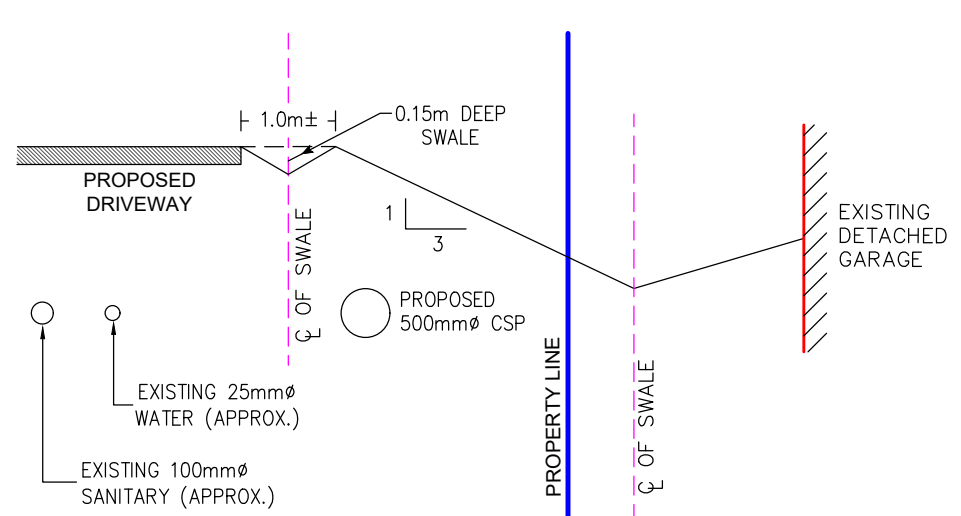
TYPICAL PIPE INSULATION DETAIL



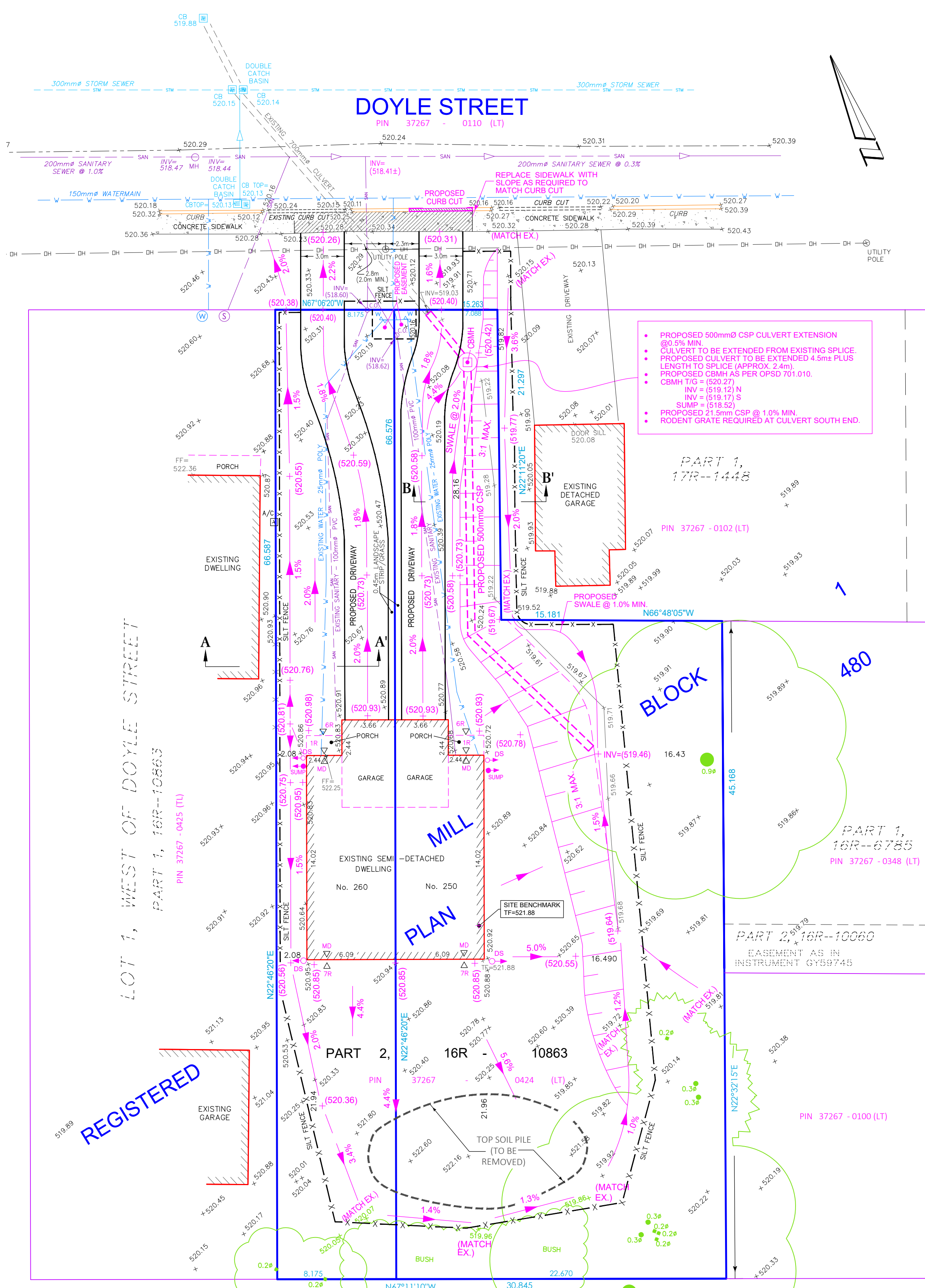
CROSS-SECTION A-A' N.T.S.



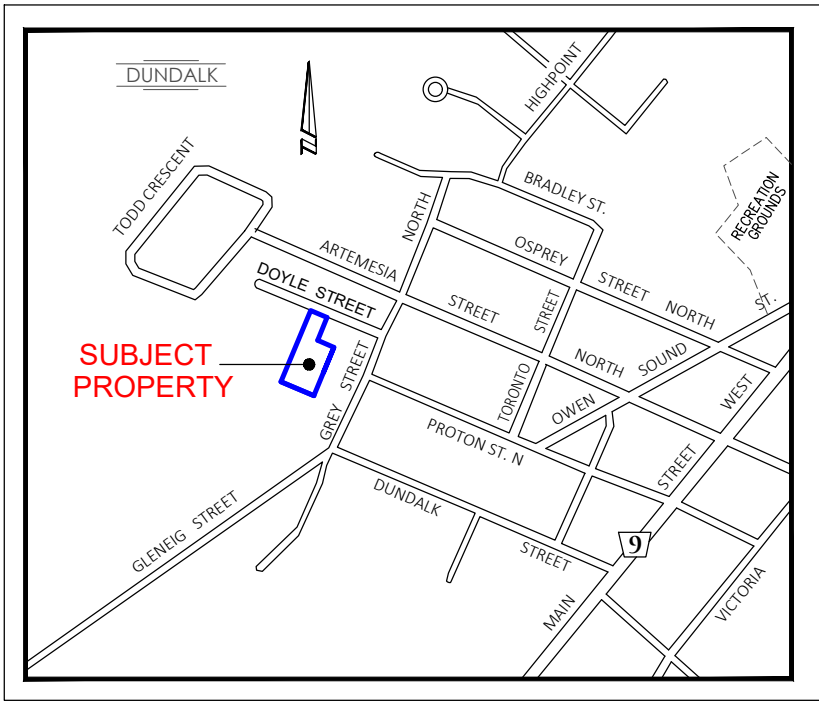
CROSS-SECTION B-B' N.T.S.



DOYLE STREET



KEYMAP:



PROPERTY DESCRIPTION:

- PIN 37267-0424 (LT) & PIN 37267-0425(LT)
- ADDRESS: 250 & 260 DOYLE ST, DUNDALK
- PART OF MILL BLOCK 1, REGISTERED PLAN 480, GEOGRAPHIC VILLAGE OF DUNDALK, TOWNSHIP OF SOUTHGATE, COUNTY OF GREY

BEARING AND COORDINATE NOTE:

- BEARINGS ARE GRID BEARINGS AND ARE DERIVED FROM GPS OBSERVATIONS AND ARE REFERRED TO THE UTM PROJECTION, ZONE 17, NAD 83 (CSRS-2010) ADJUSTMENT.
- DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY AN AVERAGED COMBINED SCALE FACTOR OF 0.995447.
- COORDINATES ON THIS PLAN ARE UTM, ZONE 17, NAD83 (CSRS-2010) ADJUSTMENT AND ARE BASED ON GPS OBSERVATIONS FROM A NETWORK OF PERMANENT GPS REFERENCE STATIONS.

ZONING: RESIDENTIAL TYPE 3 ZONE (R3)

- MINIMUM LOT AREA = 350 m²
- MINIMUM LOT FRONTAGE = 10.0 m
- MINIMUM FRONT YARD = 9.0 m
- MINIMUM INTERIOR SIDE YARD = 2.0m
- MINIMUM REAR YARD = 9.0 m
- MAXIMUM LOT COVERAGE = 40%

EXISTING DWELLING:

TOP OF FOUNDATION	= (521.88 EX.)
UNDERSIDE OF FOOTING	= (519.34)
BASEMENT FLOOR	= (519.57)
FINISHED FLOOR	= (522.25 EX.)
GARAGE CUT	= (0.95)

SURVEY INFORMATION:

BENCHMARK REFERENCE:

ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CVGD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTV2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.

SITE BENCHMARK :

BASED ON TOP OF FOUNDATION OF EXISTING DWELLING HAVING AN ELEVATION OF 521.88 METRES.

TOPOGRAPHIC SURVEY DATE:

THIS TOPOGRAPHIC SURVEY WAS COMPLETED ON THE 24th DAY OF JANUARY, 2022.

JAMES M. LAWS
ONTARIO LAND SURVEYOR



CAUTION: - THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.
- THIS SKETCH IS PROTECTED BY COPYRIGHT. ©

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SITE PLAN FOR:

**PART OF MILL BLOCK 1,
REGISTERED PLAN 480
BEING PARTS 1 AND 2, DEPOSITED PLAN 16R-10863
GEOGRAPHIC VILLAGE OF DUNDALK
TOWNSHIP OF SOUTHGATE
COUNTY OF GREY**

DRAWING REVISION SCHEDULE

NO.	REVISION	DATE
2	EXTEND CSP CULVERT / TWP ENG. COMMENTS	JULY 20-22
1	REVISE DRIVEWAYS	JUNE 28-22
0	INITIAL SUBMISSION	APRIL 22-22

PREPARED FOR: STEVEN VERBEEK

PROJECT No. 30749-21

DRAWING SCALE 1 : 200

Van Harten
SURVEYING INC.
LAND SURVEYORS AND ENGINEERS

Kitchener/Waterloo Ph: 519-742-8371	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
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www.vanharten.com info@vanharten.com

DRAWN BY: NCH DESIGNED BY: WV CHECKED BY: WV

Jul 20, 2022-11:53:55 AM
G:\DUNDALK (ALSO SEE ORANGEVILLE L)\480\ACAD\SITE PLAN PTBLOCK1 (30749-21 VERBEEK) UTM 2010 REV2.dwg

CALL BEFORE YOU DIG

THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY. PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.



**Township of Southgate
Committee of Adjustment**

Application for Minor Variance

Instructions:

This is an application under Section 45 of the Planning Act, 1990, R.S.O. c.P. 13 as amended, for relief, as described in this application, from Zoning By-law 19-2002 (as amended).

- Please check all applicable boxes and answer all applicable questions
- Failure to provide adequate, correct information may result in your application being refused
- All measurements must be in metric units. (Imperial Units will not be accepted)
- Additional information may be attached if necessary
- Incomplete applications will be returned
- The Township reserves the right to ask for more information or clarification pertaining to this application at a later time
- Applications are not accepted without the required fees \$1267 (\$976 application plus \$111 sign fee and if required, \$180 SVCA fee) in cash or by cheque made payable to the Corporation of the Township of Southgate.

For office use only:

File No. A-22.
Pre-Consult _____ Date: _____
Date received: May 26 2022
Accepted by: _____
Roll #42 07 110 001 38404
Conservation Authority Fee
Required: _____
Official Plan: _____
Property's Zone: _____
Other Information: _____

It is strongly advised that any potential applicant pre-consult with the Planning Department prior to submitting any planning application. This could save you money and avoid delays in processing. Staff are available to provide some assistance in completing this application and will help ensure the application is filled out completely.

The Approval Authority is the Township of Southgate Committee of Adjustment

Required Fees:

Application Fee	\$ 976.00 due with submitted application
Public Notice Sign Fee	\$ 111.00
Conservation Authority Fees	
Saugeen Valley CA	\$190.00
Grand River CA	Contact directly for details

Note on fees:

The application fees were adopted and approved under the Township of Southgate's fees and charges By-law.

All required application fees shall be paid in cash or by cheque made payable to the Township of Southgate at the time of submission of the application.

Please review the required Conservation Authority fees prior to submitting your application. Saugeen Valley Conservation Authority requires their fee to be submitted to the Township of Southgate along with this application. Make this payment out to the Saugeen Valley Conservation Authority.

In the event that all fees are not paid in full at the time of submission, the application shall be deemed incomplete.



1. Name of Owner Applicant (circle one) * Steven Walter VERBEEK & Kendra Ann VERBEEK

Address [REDACTED]

Postal Code [REDACTED] Telephone Number [REDACTED]

***See Note 1**

2. Name of Agent* Jeff Buisman, Van Harten Surveying

Address 423 Woolwich Street, Guelph, ON

Postal Code N1H 3X3 Telephone Number 519-821-2763 ext. 225

**** See Note 2**

jeff.buisman@vanharten.com

3. Nature and extent of relief applied for:

A) To permit a reduced lot frontage of the Severed Parcels to be 8.1m instead of 10.0m as required in Section 10.3(a) of the Zoning By-law.

B) To permit a reduced lot frontage of the Retained Parcel to be 7.0m instead of 10.0m as required in Section 10.3(a) of the Zoning By-law.

4. Why is it not possible to comply with the provisions of the by-law?

A semi-detached dwelling is currently under construction and a severance application is being applied to separate each unit / parcel. With the narrow frontage, the parcels are slightly under the required 10m frontage minimum and a minor variance is required for both the Severed and Retained Parcels

5. Legal description of subject land (registered plan number and lot number or other legal description, and, where applicable, street and street number):

Part Mill Block 1, Plan 480, Part 2, 16R-10863 T/W an Easement Over
Part 2, 16R-10060 as in INST GY59745

6. Dimensions of land affected in metric units:

Severed Parcel

Frontage: 8.1m

Area: 543m²

Depth: 66.6m

Width of Street: 20.12m

Retained Parcel:

Frontage: 7.0m

Depth: 66.6m

Area: 1,173m²

7. Particulars of all buildings and structures on or proposed for the subject land (specify, in metric units) the ground floor area, gross floor area, number of storeys, width, length, height, etc.):

Existing: Semi-detached dwelling currently under construction.
Please see Sketch and Site Plan for more details.

Proposed:

8. Location of all buildings and structures on or proposed for the subject land (specify distance from side, rear and front lot lines):

Existing: Semi-detached dwelling currently under construction.
Please see Sketch and Site Plan for more details.

Proposed:

9. Date of acquisition of subject land: March 2021
10. Date of construction of all buildings and structures on subject land:
Semi-detached dwelling currently under construction - commencing in 2021
11. Existing uses of the subject property:
Residential
12. Existing uses of the abutting properties:
North: Residential East: Residential
South: Residential West: Residential
13. Length of time the existing uses of the subject property have continued:
Many years
14. Water is provided to the subject land by a:
X publicly owned and operated piped water system
_____ privately owned and operated individual or communal well
_____ lake or other water body or other means (please explain)
15. Sewage disposal is provided to the subject land by a:
X publicly owned and operated sanitary sewage system
_____ privately owned and operated individual or communal well
_____ privy or other means (please explain)
16. Storm drainage is provided by (check applicable):
Sewers: X Ditches _____ Swales : _____
Other means (please explain) _____
17. Present Official Plan designation on the subject lands: Neighbourhood Area & Hazard
18. Present Zoning By-law provisions applying to the land: Section 10.3 (a)
19. Has the subject land ever been the subject of an application for minor variance (under Section 45 or its predecessor of the Planning Act)
Yes ☐ No ☒
If the answer is yes, describe briefly (i.e. date of application, file number, nature of relief, etc.)

20. Is the subject property the subject of a current application for a plan of subdivision or consent under Section 51 or 53 of the Planning Act?
Yes ☒ No ☐ A severance application is being submitted simultaneously with the minor variance

Sketch Instructions:

Each copy of this application must be accompanied by a sketch or survey showing the following:

- (i) The boundaries and dimensions of the subject land.
- (ii) The location, size and type of all existing and proposed buildings and structures on the subject land, indication the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
- (iii) The current uses and location of all existing buildings and/or structures on the adjacent lands. (Indicate the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines).
- (iv) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks.
- (v) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (vi) If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- (vii) The location and nature of any easement affecting the subject land.

21. Owners authorization and declaration:

Authorization for agent

I/we Steven Walter VERBEEK & Kendra Ann VERBEEK
(print name or names)

authorize Jeff Bulsman, OLS, Van Harten Surveying
(print name of agent)

to act as our agent(s) for the purpose of this application.

<u>[Signature]</u> (Signature of Owner)	<u>5/24/22</u> (date)
<u>[Signature]</u> (Signature of Owner)	<u>5/24/22</u> (date)

22. Owners authorization for access:

I/we Steven Walter VERBEEK & Kendra Ann VERBEEK
(print name or names)

hereby permit Township staff and its representatives to enter upon the premises during regular business hours for the purpose of performing inspections of the

<u>[Signature]</u> (Signature of Owner)	<u>5/24/22</u> (date)
<u>[Signature]</u> (Signature of Owner)	<u>5/24/22</u> (date)

23. Affidavit or sworn declaration :

Note: This Affidavit must be signed in the presence of a Commissioner of Oaths.

I/ (We) Jeff Buisman, OLS, Van Harten Surveying
Name of Owner(s) or Authorized Agent or Applicant

of the City of Guelph in the County of Wellington
city/town/municipality county/region

Solemnly declare that all statements contained in this application and all the information provided is true, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the CANADA EVIDENCE ACT.

Declared before me at the:

City of Guelph in the County of Wellington
city/town/municipality county/region

This 25 day of May, 2022


Signatures of Owner

May 25, 2022
Date

Signatures of Owner

Date


Signature of Commissioner

May 25, 2022
Date








James Michael Laws,
a Commissioner, etc.,
Province of Ontario,
for Van Harten Surveying Inc.
Expires May 11, 2024

—□—	DENOTES SURVEY MONUMENT SET
—■—	DENOTES SURVEY MONUMENT FOUND
IB	DENOTES .015 X .015 X 0.60 IRON BAR
SIB	DENOTES .025 X .025 X 1.20 STANDARD IRON BAR
SSIB	DENOTES .025 X .025 X 0.60 SHORT STANDARD IRON BAR
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892	DENOTES J. G. FLAHERTY, O.L.S.
982	DENOTES H. R. WHALE, O.L.S.
P1	DENOTES DEPOSITED PLAN 61R-22110
T/C	DENOTES TOP OF CURB
T/W	DENOTES TOP OF WALL
RWALL	DENOTES RETAINING WALL



The diagram shows a horizontal layout of utility lines. From top to bottom, the lines are:

- GAS LINE**: Represented by a brown line with three horizontal dashes. The word "GAS" is written in brown at the right end.
- OVERHEAD HYDRO**: Represented by a magenta line with three horizontal dashes. The letters "OH" are written in magenta at the first and second dash positions.
- CENTERLINE OF ROAD**: Represented by a black dashed line.
- WATER LINE**: Represented by a blue line with four downward-pointing chevrons.
- SANITARY SEWER**: Represented by a purple line with three horizontal dashes. The letters "SAN" are written in purple at the right end.
- STORM SEWER**: Represented by a cyan line with three horizontal dashes. The letters "STM" are written in cyan at the right end.
- DIRECTION OF FLOW**: Represented by a thick magenta line with a large magenta arrowhead pointing to the right.

GAS METER		GM
HYDRO METER		HM
HYDRO POLE		HP
DOWNSPOUT		DS
MP/DISCHARGE		SUM
WATERVALVE		WV
DRY CLEAN-OUT		C.O.

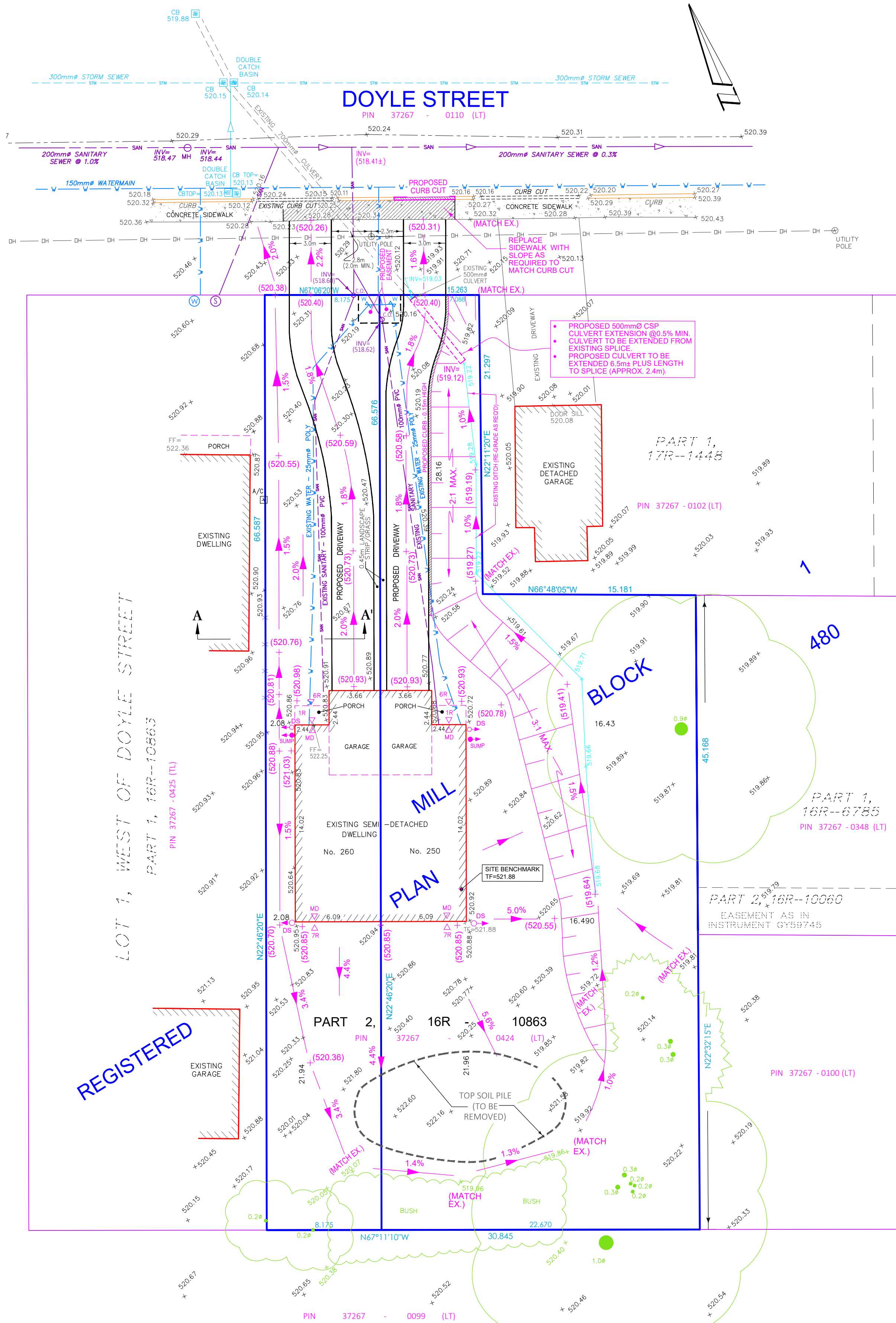
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- DOWNSPOUTS TO DISCHARGE TO SWALES AND CANNOT BE REDIRECTED TOWARDS ABUTTING DWELLINGS.
- DRIVEWAY TO BE CONSTRUCTED WITH MINIMUM 150mm GRANULAR 'A' BASE, 150mm GRANULAR 'B' SUB BASE.
- BUILDER IS RESPONSIBLE TO COORDINATE WITH HYDRO, GAS AND OTHER UTILITIES.
- PROPOSED 3:1 SLOPES AND 2:1 SLOPES MAY BE REDUCED OR SUPPLEMENTED WITH LANDSCAPE WALLS AT THE DISCRETION OF THE BUILDER.
- DRIVEWAY TO BE CURBED (MIN. 0.15m HIGH) AND PROPOSED 2:1 SLOPE TO EXISTING DITCH.
- DRIVEWAY RAMP (WITHIN MUNICIPAL RIGHT-OF-WAY) TO BE ASPHALT (MIN. 50mm HLB)
- ALL DISTURBED AREAS TO BE TOPSOILED (200mm MIN.) AND SODDED/SEEDED. WITHIN THE MUNICIPAL RIGHT-OF-WAY, SOD IS REQUIRED.
- WRITTEN PERMISSION FROM THE ABUTTING PROPERTY OWNER IS REQUIRED IF GRADING EXTENDS ONTO THEIR LANDS.

- ALL SILT FENCING TO BE INSPECTED AND INSTALLED PRIOR TO THE COMMENCEMENT OF ANY GRADING OR EXCAVATING.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ANY ADDITIONAL EROSION CONTROL MEASURES.
- ALL EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED GRASS/VEGETATION HAS BEEN STABILIZED BY RESTORATION OF GROUND COVER.
- ANY DISTURBED AREAS NOT UNDER ACTIVE CONSTRUCTION ARE TO BE STABILIZED WITH TOPSOIL AND SEED/SOD.
- ANY MUD/DEBRIS TRACKING ONTO MUNICIPAL ROAD ALLOWANCES WILL BE CLEANED UP BY THE END OF THE WORK DAY (DAILY).

- SUMP PUMPS TO DISCHARGE TO GRADE.
- IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT THE PROPOSED UNDERSIDE OF FOOTING WILL ALLOW A GRAVITY SANITARY SEWER CONNECTION.
- THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY AND BASED ON ENGINEERING DRAWINGS P2, GEN, LGR2 AND XS BY WMI & ASSOCIATES LTD, AND ADDITIONAL LOCATES BY SCOTT BETTS.
- PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.
- 1.0m MINIMUM SEPARATION BETWEEN SEWER (SANITARY AND STORM) AND WATER SERVICE CONNECTIONS.
- WATER SERVICE (PRIVATE SIDE) IS 25mm DIA. (1" O.D., 7/8" I.D.) IPEX BLUE 904 POLY.
- SANITARY SERVICE (PRIVATE SIDE) IS 100mm DIA. PVC SDR 28 AT 2.0% MIN. MINIMUM SLOPE. CLEAN OUTS LOCATED AS SHOWN.
- WATER SERVICE TO BE INSULATED IF LESS THAN 2.0m GROUND COVER IS PROVIDED.
- ALL WORKS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE TO BE COMPLETED IN CONFORMANCE WITH TOWNSHIP MUNICIPAL SERVING STANDARDS AND APPLICABLE OPSS/OPSDs. A LIST OF ALL MATERIALS, FIXTURES AND APPURTENANCES IS TO BE SUBMITTED TO THE TOWNSHIP FOR REVIEW/APPROVAL PRIOR TO INSTALLATION.

The diagram illustrates the proposed driveway layout. It shows an existing dwelling (No. 260) on the left, an existing fence, and a property line. A proposed driveway is shown extending from the property line, with a minimum depth of 0.15m. The driveway is labeled with the number (520.87+). The diagram also shows the center line of the swale (CL OF SWALE) and the existing fence line (EXISTING FENCE).

NOTE: PROPOSED SWALE TO BE 0.15m MIN. BELOW GRADE AT EXISTING DWELLING.



THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY. PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.

A map of the Dundalk area. The map shows a grid of streets. Dundalk Street runs horizontally across the middle. To the north of Dundalk Street are Doyle Street, Grell Street, Artemesia Street, North Street, Osprey Street, Bradley Street, and Main Street. To the south of Dundalk Street are Glenis Street, Victoria Street, and a street labeled '9'. A red label 'SUBJECT PROPERTY' points to a blue-outlined property located on Doyle Street, between Grell Street and Artemesia Street. A north arrow is located in the top left corner. A scale bar is located in the top right corner. A red dashed line outlines a property on the east side of the map, labeled 'HOUSE WITH GARAGE'.

- PIN 37267-0424 (LT) & PIN 37267-0425(LT)
- ADDRESS: 250 & 260 DOYLE ST, DUNDALK
- PART OF MILL BLOCK 1, REGISTERED PLAN 480, GEOGRAPHIC VILLAGE OF DUNDALK, TOWNSHIP OF SOUTHGATE, COUNTY OF GREY

1. BEARINGS ARE GRID BEARINGS AND ARE DERIVED FROM GPS OBSERVATIONS AND ARE REFERRED TO THE UTM PROJECTION, ZONE 17, NAD 83 (CSRS-2010) ADJUSTMENT.
2. DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY AN AVERAGED COMBINED SCALE FACTOR OF 0.995447.
3. COORDINATES ON THIS PLAN ARE UTM, ZONE 17, NAD83 (CSRS-2010) ADJUSTMENT AND ARE BASED ON GPS OBSERVATIONS FROM A NETWORK OF PERMANENT GPS REFERENCE STATIONS.

- MINIMUM LOT AREA = 350 m²
- MINIMUM LOT FRONTAGE = 10.0 m
- MINIMUM FRONT YARD = 9.0 m
- MINIMUM INTERIOR SIDE YARD = 2.0m
- MINIMUM REAR YARD = 9.0 m
- MAXIMUM LOT COVERAGE = 40%

TOP OF FOUNDATION	= (521.88 EX.
UNDERSIDE OF FOOTING	= (519.34)
BASEMENT FLOOR	= (519.57)
FINISHED FLOOR	= (522.25 EX.
GARAGE CUT	= (0.95)

BENCHMARK REFERENCE:
ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CVGD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTv2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.

BASED ON TOP OF FOUNDATION OF EXISTING DWELLING HAVING AN ELEVATION OF 521.88 METRES.

THIS TOPOGRAPHIC SURVEY WAS COMPLETED ON THE
24th DAY OF JANUARY, 2022.


JAMES M. LAWS
ONTARIO LAND SURVEYOR



CAUTION: - THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.
- THIS SKETCH IS PROTECTED BY COPYRIGHT. ©

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**PART OF MILL BLOCK 1,
REGISTERED PLAN 480
BEING PARTS 1 AND 2, DEPOSITED PLAN 16R-10863
GEOGRAPHIC VILLAGE OF DUNDALK
TOWNSHIP OF SOUTHGATE
COUNTY OF GREY**

1	REVISE DRIVEWAYS	JUNE 28-22
0	INITIAL SUBMISSION	APRIL 22-22
NO.	REVISION	DATE

PREPARED FOR: STEVEN VERBEEK

DRAWING SCALE 1 : 200



Van Harten
SURVEYING INC.
LAND SURVEYORS and ENGINEERS

Kitchener/Waterloo Ph: 519-742-8371	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
--	----------------------------	---------------------------------

www.vanharten.com info@vanharten.com

DRAWN BY: NCH	DESIGNED BY: WV	CHECKED BY: WV
---------------	-----------------	----------------

Jun 27, 2022-9:53:16 AM
G:\DUNDALK (ALSO SEE ORANGEVILLE L)\480\ACAD\SITE PLAN PTBLOCK1 (30749-21
VERBEEK) UTM 2010 REV1.dwg



**THE CORPORATION OF THE TOWNSHIP OF SOUTHGATE
COMMITTEE OF ADJUSTMENT**

**NOTICE OF APPLICATION AND PUBLIC HEARING
FOR MINOR VARIANCE FILE # A4-22**

PROPERTY LOCATION: legally known as Plan 480 Part Mill Block 1 RP16R10863 Part 2 (Geographic Village of Dundalk) in the Township of Southgate (see the key map below). Also described as 250 Doyle Street.

TAKE NOTICE that the Committee of Adjustment of the Township of Southgate has designated:

June 22, 2022 at 9:00 AM

for the purpose of holding an **electronic hearing**, to hear the application for a Minor Variance:

File # A4-22

Electronic Access Information:

Please join the meeting from your computer, tablet or smartphone

<https://global.gotomeeting.com/join/442563645>

You can also dial in using your phone. Canada: +1 (647) 497-9373 Access Code: 442-563-645 #

NOTE: If you wish to speak at the meeting, please register in advance by contacting the Secretary-Treasurer, Holly Malynyk using the below information. The meeting will be recorded and uploaded to the Township YouTube Channel:

<https://www.youtube.com/user/SouthgateTownship>

Purpose: The Variance is to vary the provisions of the by-law to allow for the creation of a semi detached lot with less than 10m of frontage. Specifically the application will vary section 10.3(a) allowing for a reduction of the 10m interior frontage requirement to 7.0m. All other provisions of the bylaw shall apply.

Approval of this application would provide relief from the by-law to permit the creation of a lot for a semi detached unit. The relief will specifically reduce the interior road frontage requirement from 10m to 7m.

No other related Planning Applications have been received for this property.

You are entitled to attend the hearing virtually at this time or to be represented by an agent to express your views on the merits of this application. You may also forward a letter with your views to the Committee. If you do not attend the hearing or send correspondence regarding this file, the Committee will proceed in your absence and you are not entitled to any further notice of the proceedings.

Please note that all submissions will become part of the public record in their entirety and may be posted to Southgate's website.

A copy of the Notice of Decision will be sent to the applicant and each person who appeared or was represented by an agent at the hearing **and** who has filed a written request for notice of the decision.

ADDITIONAL INFORMATION regarding this application is available for public viewing during office hours at the address below or on the Township Website at: <https://www.southgate.ca/en/municipal-services/planning-applications-public-notices.aspx#A4-22-Steven-and-Kendra-Verbeek>

Township of Southgate
185667 Grey Rd. 9,
Dundalk, ON N0C 1B0
(519) 923-2110 ext. 233
Toll Free: 1-888-560-6607

DATED AT THE TOWNSHIP OF
SOUTHGATE
THIS 31st DAY OF May 2022
Holly Malynyk,
Secretary-Treasurer
Committee of Adjustment



Subject lands

From: [Planning Southgate](#)
To: [Holly Malynyk](#)
Subject: FW: 519-22-408 - Consent Application B3-22 - 250 Doyle Street
Date: June 6, 2022 9:05:35 AM

From: Hall, Charleyne <charleyne.hall@bell.ca>
Sent: June 3, 2022 12:41 PM
To: Planning Southgate <planning@southgate.ca>
Subject: 519-22-408 - Consent Application B3-22 - 250 Doyle Street

Good afternoon,

Bell Canada has no concerns with Application for Consent B3-22 regarding 250 Doyle Street.

Thank you,

Charleyne
(she/her)



Right of Way & Indigenous Relations Associate
140 Bayfield Street, Floor 2, Barrie ON L4M 3B1
T: 705-722-2264 Toll Free: 1-888-646-4817

Recognizing traditional territory of Haudenosaunee and Anishnaabeg Peoples; part of the Upper Canada Treaties.

From: planning@grey.ca
To: [Planning Southgate](#); [Lindsey Green](#); [Holly Malynyk](#)
Subject: County comments for A4-22 Verbeek & B3-22
Date: June 13, 2022 3:48:58 PM

County comments for A4-22 Verbeek & B3-22

Hello Southgate,

Please note that County Staff have reviewed Minor Variance application A4-22 and Consent B3-22, for Steven & Kendra Verbeek.

Per Appendix A, the subject lands are within a Wellhead Protection Area - D. The mapping is largely concerned with land use activities that include large storage of fuel or chemicals that may infiltrate local water supplies. Provided that the proposed semi-detached unit will be serviced by full municipal servicing and no significant storage of fuel or chemicals is proposed, the County generally has no concerns.

It appears that there may be an area of absent 'Hazard Lands' mapping on Schedule A of the County's OP. It is recommended that further comments be received from the Conservation authority.



Provided positive comments are received by the Conservation authority, the County has no further concerns.

Please note, a paper copy will not be provided unless requested.

Let us know if you have any questions.

Best regards,

Becky Hillyer

Planning & Development, Grey County, Owen Sound ON

From: [Ontario Lands](#)
To: [Holly Malynyk](#)
Subject: RE: Notice of Hearing - B3-22 Steven and Kendra Verbeek
Date: June 1, 2022 8:35:30 AM

Thank you for your correspondence with regard to the proposed Severance. Enbridge Gas Inc, (formerly Union Gas Ltd.), does have service lines running within the area which may or may not be affected by the proposed severance.

Should the proposed severance impact these services, it may be necessary to terminate the gas service and relocate the line according to the new property boundaries. Any Service relocation required due to a severance would be at the cost of the property owner. Also, should future gas service be required to either the severed or retained parcel, a request for gas service needs to be submitted to the Attachment Centre at 1-866-772-1045.

Should you require any further information, please contact the undersigned.

Kelly Buchanan

Land Analyst

—

ENBRIDGE GAS INC.

TEL: 519-436-4673 | FAX: 519-358-4271

50 Keil Dr N, Chatham ON N7M 5M1

enbridge.com

Safety. Integrity. Respect.

From: Holly Malynyk <hmalynyk@southgate.ca>

Sent: Tuesday, May 31, 2022 1:49 PM

To: Bell Canada ROWCC <rowcentre@bell.ca>; Bev Fisher <bfisher@southgate.ca>; Bluewater District School Board <shelley_crummer@bwdsb.on.ca>; Bluewater District School Board <jayme_bastarache@bwdsb.on.ca>; Bruce Grey Catholic School Board <al_hastie@bgcdsb.org>; Chris Lorenz - GRCA <clorenz@grandriver.ca>; Clinton Stredwick <cstredwick@southgate.ca>; Dave Milliner <dmilliner@southgate.ca>; Derek Malynyk <firechief@southgate.ca>; Ontario Lands <ONTLands@enbridge.com>; Group_PlanningDeptEmails <Group_PlanningDeptEmails@grey.ca>; Haudenosaunee Development Institute <hdi2@bellnet.ca>; hsmrcc@bmts.com; Hydro One <landuseplanning@hydroone.com>; Jim Ellis <jellis@southgate.ca>; Kevin Green <kgreen@southgate.ca>; Lacy Russell <lrussell@southgate.ca>; Meagan Bruce <M.Bruce@publichealthgreybruce.on.ca>; Metis Nation of Ontario <consultations@metisnation.org>; MMAH <Tyler.Shantz@ontario.ca>; Newdevelopment@rci.rogers.com; Ontario Power Generation <Executivevp.lawanddevelopment@opg.com>; Pegelo, Jessica - MTO <jessica.pegelo@ontario.ca>; Riel Warrilow <associate.ri@saugeenonjibwaynation.ca>; Six Nations of the Grand River <lonnybomberry@sixnations.ca>; ONTUGLLandsINQ <ONTUGLLandsINQ@enbridge.com>; William Gott <wgott@southgate.ca>; WSP on behalf of Bell <circulations@wsp.com>

Subject: [External] Notice of Hearing - B3-22 Steven and Kendra Verbeek

CAUTION! EXTERNAL SENDER

Were you expecting this email? TAKE A CLOSER LOOK. Is the sender legitimate?

DO NOT click links or open attachments unless you are 100% sure that the email is safe.

Good afternoon,

Please find the below link for the Notice of Public Hearing for Consent Application B3-22.

https://secure-web.cisco.com/1qEldFalpsh5-qxzSy8rN1FVmxAE55ot17gDE8HYkUyO6xc90SaPvPMfW5lHIN8rcASTZgLrRjfTHrfiNwnDMk8_5gSbrUoAp3lQcO_glk59WU98N7xH-ljqYQFWO5OMekd4nuAHMAiSZ2ZpSTNQIZVeYojOrgnkhHHOF9KrzE2ld29xbFGErROtcBXi-bnaQuIDUNw1P3LuuHTeSiy3lO5qRs0Trbc2JCY6D7iR1J82XSbk_815BFwMnc71vPJPFHWbiy8CDU6bn4qLOViWr4oOz26BcsyuV5fbNB7XJyOOES0YPEr22WN8zdC82-mJY/https%3A%2F%2Fwww.southgate.ca%2Fen%2Fmunicipal-services%2Fplanning-applications-public-notices.aspx%23B3-22-Steven-and-Kendra-Verbeek

The hearing has been scheduled for **June 22, 2022 at 9:00AM**. Comments will be received on the above notification up until the hearing date, but if possible, please forward by **June 15, 2022** for inclusion on the public agenda.

Comments can be received by:

Email: hmalynyk@southgate.ca

Fax: 519-923-9262 Attn: Holly Malynyk

Mail: Holly Malynyk Secretary-Treasurer
185667 Grey County Road 9
Dundalk, ON N0C 1B0

Thank you for your attention to this matter.

Holly Malynyk
Administrative and Legislative Assistant
Township of Southgate

185667 Grey County Road 9, Dundalk, ON N0C 1B0

519-923-2110 ext. 233 | Fax 519-923-9262

hmalynyk@southgate.ca | [http://secure-](http://secure-web.cisco.com/1flt64r6KA5SMOsMWEZsZ48trOwcEtMRMkzKMBjS2IPTJCfH04s2IrvCgZdtUy7_-eQA6m2TvSKcjnv4fdEhKMRqvBu1dCEL9m4DtcwSekUijFOAyunuJjDt_dk3AKCoB3rVFyHk04LthyE5h3ZpFhjvkQh5P0_oFNYY9SOxu3BmMmu0KnY5Xs5X9Mzb8UspJfmju_oUMOa56sHnJNnNwxu65Wby-j3Txxar160Vuz3wVYWo_2g3_sgDBCqMhTsIDRfuOm3VUMMYBUU0M1SOsHdVowbhmhrck01kNoXENWy5ywjRVgIz7jEKsnI-MYDwZ/http%3A%2F%2Fwww.southgate.ca)

[web.cisco.com/1flt64r6KA5SMOsMWEZsZ48trOwcEtMRMkzKMBjS2IPTJCfH04s2IrvCgZdtUy7_-eQA6m2TvSKcjnv4fdEhKMRqvBu1dCEL9m4DtcwSekUijFOAyunuJjDt_dk3AKCoB3rVFyHk04LthyE5h3ZpFhjvkQh5P0_oFNYY9SOxu3BmMmu0KnY5Xs5X9Mzb8UspJfmju_oUMOa56sHnJNnNwxu65Wby-j3Txxar160Vuz3wVYWo_2g3_sgDBCqMhTsIDRfuOm3VUMMYBUU0M1SOsHdVowbhmhrck01kNoXENWy5ywjRVgIz7jEKsnI-MYDwZ/http%3A%2F%2Fwww.southgate.ca](http://secure-web.cisco.com/1flt64r6KA5SMOsMWEZsZ48trOwcEtMRMkzKMBjS2IPTJCfH04s2IrvCgZdtUy7_-eQA6m2TvSKcjnv4fdEhKMRqvBu1dCEL9m4DtcwSekUijFOAyunuJjDt_dk3AKCoB3rVFyHk04LthyE5h3ZpFhjvkQh5P0_oFNYY9SOxu3BmMmu0KnY5Xs5X9Mzb8UspJfmju_oUMOa56sHnJNnNwxu65Wby-j3Txxar160Vuz3wVYWo_2g3_sgDBCqMhTsIDRfuOm3VUMMYBUU0M1SOsHdVowbhmhrck01kNoXENWy5ywjRVgIz7jEKsnI-MYDwZ/http%3A%2F%2Fwww.southgate.ca)

From: [Chris Lorenz](#)
To: [Holly Malynyk](#)
Subject: RE: Notice of Hearing - A4-22 Kendra and Steven Verbeek
Date: May 31, 2022 2:20:10 PM

Good afternoon Holly,

The subject property does not contain lands regulated by the GRCA and as such we will not be providing comment.

Thank you,

Chris Lorenz, M.Sc.
Resource Planner
Grand River Conservation Authority

Office: 519-621-2763 ext. 2236

Email: clorenz@grandriver.ca

www.grandriver.ca | [Connect with us on social](#)

From: Holly Malynyk <hmalynyk@southgate.ca>

Sent: May 31, 2022 1:16 PM

To: Bell Canada ROWCC <rowcentre@bell.ca>; Bev Fisher <bfisher@southgate.ca>; Bluewater District School Board <shelley_crummer@bwdsb.on.ca>; Bluewater District School Board <jayne_bastarache@bwdsb.on.ca>; Bruce Grey Catholic School Board <al_hastie@bgcdsb.org>; Chris Lorenz <clorenz@grandriver.ca>; Clinton Stredwick <cstredwick@southgate.ca>; dmilliner@southgate.ca; firechief@southgate.ca; Enbridge Gas <ONTLands@enbridge.com>; Group_PlanningDeptEmails <Group_PlanningDeptEmails@grey.ca>; Haudenosaunee Development Institute <hdi2@bellnet.ca>; hsmrcc@bmts.com; Hydro One <landuseplanning@hydroone.com>; jellis@southgate.ca; Juanita Meekins <juanita.meekins@saugeenonibwaynation.ca>; Kevin Green <kgreen@southgate.ca>; Lacy Russell <lrussell@southgate.ca>; lgreen@southgate.ca; Meagan Bruce <M.Bruce@publichealthgreybruce.on.ca>; Metis Nation of Ontario <consultations@metisnation.org>; MMAH <Tyler.Shantz@ontario.ca>; Newdevelopment@rci.rogers.com; Ontario Power Generation <Executivevp.lawanddevelopment@opg.com>; Pegelo, Jessica - MTO <jessica.pegelo@ontario.ca>; Riel Warrilow <associate.ri@saugeenonibwaynation.ca>; Six Nations of the Grand River <lonnybomberry@sixnations.ca>; Union Gas <ontugllandsinq@uniongas.com>; William Gott <wgott@southgate.ca>; WSP on behalf of Bell <circulations@wsp.com>

Subject: Notice of Hearing - A4-22 Kendra and Steven Verbeek

Good afternoon,

Please find the below link for the Notice of Public Hearing for Minor Variance Application A4-22.

<https://www.southgate.ca/en/municipal-services/planning-applications-public-notice.aspx#A4-22-Steven-and-Kendra-Verbeek>

The hearing has been scheduled for **June 22, 2022 at 9:00AM**. Comments will be received on the above notification up until the hearing date, but if possible, please forward by **June 15, 2022** for inclusion on the public agenda.

Comments can be received by:

Email: hmalynyk@southgate.ca

Fax: 519-923-9262 Attn: Holly Malynyk

Mail: Holly Malynyk Secretary-Treasurer
185667 Grey County Road 9
Dundalk, ON N0C 1B0

Thank you for your attention to this matter.

Holly Malynyk
Administrative and Legislative Assistant
Township of Southgate

📍 185667 Grey County Road 9, Dundalk, ON N0C 1B0

☎ 519-923-2110 ext. 233 | Fax 519-923-9262

✉ hmalynyk@southgate.ca | www.southgate.ca

From: hsmlrcc@bmts.com
To: [Holly Malynyk](#)
Subject: Request for Comments - Southgate (Verbeek) - proposed Minor Variance
Date: June 1, 2022 1:25:40 PM

Your file: A04-22

Our file: Southgate Municipality

Ms. Malynyk,

The Historic Saugeen Métis (HSM) Lands, Resources and Consultation Department has reviewed the relevant documents and have no objection or opposition to the proposed Minor Variance application as presented.

Thank you for the opportunity to review this matter.

Regards,

Chris Hachey
Coordinator, Lands, Resources & Consultation
Historic Saugeen Métis
email: hsmlrcc@bmts.com
phone: 519-483-4000
site: saugeenmetis.com
address: 204 High Street Southampton, ON

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From: [LANDUSEPLANNING](#)
To: [Holly Malynyk](#)
Subject: Southgate - 260 Doyle Street - B3-22
Date: June 13, 2022 12:30:35 PM
Attachments: [image001.png](#)

Hello,

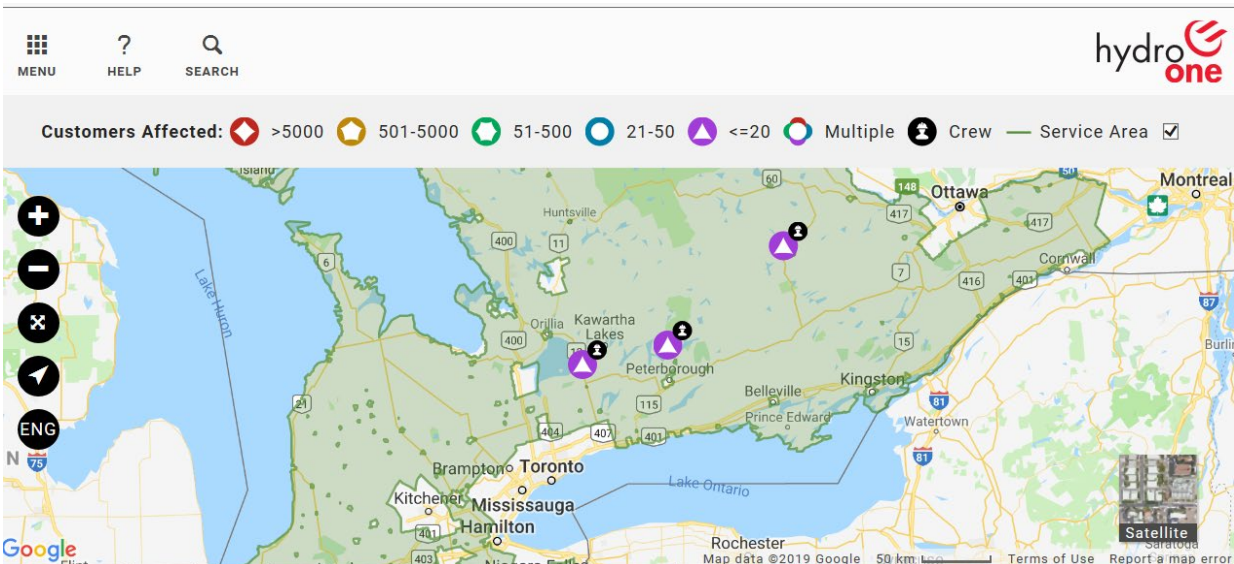
We are in receipt of your Consent Application, B3-2 dated May 31, 2022. We have reviewed the documents concerning the noted Plan and have no comments or concerns at this time. **Our preliminary review considers issues affecting Hydro One's 'High Voltage Facilities and Corridor Lands' only.**

For proposals affecting 'Low Voltage Distribution Facilities' please consult your local area Distribution Supplier.

To confirm if Hydro One is your local distributor please follow the following link:

<http://www.hydroone.com/StormCenter3/>

Please select "Search" and locate address in question by entering the address or by zooming in and out of the map



If Hydro One is your local area Distribution Supplier, please contact Customer Service at 1-888-664-9376 or e-mail CustomerCommunications@HydroOne.com to be connected to your Local Operations Centre

Thank you,

Kitty Luk

Real Estate Assistant | Land Use Planning

Hydro One Networks Inc.

185 Clegg Road
Markham, ON | L6G 1B7

Email: landuseplanning@hydroone.com

From: Holly Malynyk <hmalynyk@southgate.ca>

Sent: Tuesday, May 31, 2022 1:49 PM

To: Bell Canada ROWCC <rowcentre@bell.ca>; Bev Fisher <bfisher@southgate.ca>; Bluewater District School Board <shelley_crummer@bwdsb.on.ca>; Bluewater District School Board <jayme_bastarache@bwdsb.on.ca>; Bruce Grey Catholic School Board <al_hastie@bgcdsb.org>; Chris Lorenz - GRCA <clorenz@grandriver.ca>; Clinton Stredwick <cstredwick@southgate.ca>; Dave Milliner <dmilliner@southgate.ca>; Derek Malynyk <firechief@southgate.ca>; Enbridge Gas <ONTLands@enbridge.com>; Group_PlanningDeptEmails <Group_PlanningDeptEmails@grey.ca>; Haudenosaunee Development Institute <hdi2@bellnet.ca>; hsmrcc@bmts.com; LANDUSEPLANNING <LandUsePlanning@HydroOne.com>; Jim Ellis <jellis@southgate.ca>; Kevin Green <kgreen@southgate.ca>; Lacy Russell <lrussell@southgate.ca>; Meagan Bruce <M.Bruce@publichealthgreybruce.on.ca>; Metis Nation of Ontario <consultations@metisnation.org>; MMAH <Tyler.Shantz@ontario.ca>; Newdevelopment@rci.rogers.com; Ontario Power Generation <Executivevp.lawanddevelopment@opg.com>; Pegelo, Jessica - MTO <jessica.pegelo@ontario.ca>; Riel Warrilow <associate.ri@saugeenojibwaynation.ca>; Six Nations of the Grand River <lonnybomberry@sixnations.ca>; Union Gas <ontugllandsinq@uniongas.com>; William Gott <wgott@southgate.ca>; WSP on behalf of Bell <circulations@wsp.com>

Subject: Notice of Hearing - B3-22 Steven and Kendra Verbeek

***** Exercise caution. This is an EXTERNAL email. DO NOT open attachments or click links from unknown senders or unexpected email. *****

Good afternoon,

Please find the below link for the Notice of Public Hearing for Consent Application B3-22.

<https://www.southgate.ca/en/municipal-services/planning-applications-public-notices.aspx#B3-22-Steven-and-Kendra-Verbeek>

The hearing has been scheduled for **June 22, 2022 at 9:00AM**. Comments will be received on the above notification up until the hearing date, but if possible, please forward by **June 15, 2022** for inclusion on the public agenda.

Comments can be received by:

Email: hmalynyk@southgate.ca
Fax: 519-923-9262 Attn: Holly Malynyk
Mail: Holly Malynyk Secretary-Treasurer
185667 Grey County Road 9
Dundalk, ON N0C 1B0

Thank you for your attention to this matter.

Holly Malynyk
Administrative and Legislative Assistant
Township of Southgate

📍 185667 Grey County Road 9, Dundalk, ON N0C 1B0
☎ 519-923-2110 ext. 233 | Fax 519-923-9262
✉ hmalynyk@southgate.ca | www.southgate.ca

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Township of Southgate

185667 Grey County Road 9,
Dundalk, ON N0C 1B0

Jim Ellis,

Public Works Manager / Risk Management Official

jellis@southgate.ca



Phone: 519-923-2110 ext. 250

Toll Free: 1-888-560-6607

Fax: 519-923-9262

Cell: 519-378-3777

Public Works Department

Date: June 2, 2022

File No.: A4 & B3 -22

Can a safe access be provided? Yes ☒ No ☐

Road Drainage Concern: Stormwater system as per submitted drainage plan

Road Standard: Urban asphalt

Road Widening Necessary? Yes ☐ No ☒

Entrance Requirements: Curb cut required for entrance

Load Restricted Road: Yes ☒ No ☐

Comments:

Hydro pole to be relocated from middle of driveways

All site works at the owner's expense

Road & sidewalk damages from contractors' excavator from servicing installs in 2021 will be repaired as noted last year at the owners expense.

Risk Management Office

Property is located in a Well Head Protection Area:

- ☐ WHPA "A"
- ☒ WHPA "B"
- ☐ WHPA "C"
- ☐ WHPA "D"
- ☐ Not Applicable

Comments:

Well Head Protection Area "B" - Applicable to Dense Non- Aqueous Phase Liquid (DNAPL's) products managed by education and outreach programs.

Signed: _____

Jim Ellis, Public Works Manager / Risk Management Official

From: [Riel Warrilow](#)
To: [Holly Malynyk](#)
Subject: Re: Notice of Hearing - A4-22 Kendra and Steven Verbeek
Date: June 24, 2022 10:24:18 AM

Hello and thank you for your email,

At this point, the Saugeen Ojibway Nation's Environment Office does not have the resources to engage in consultation on this project.

We have no further comments on this project. If at any point anything of archeological interest is revealed on site, please contact the SON Environment Office immediately.

You can learn more about the Saugeen Ojibway Nation and SON territory here:
<https://www.saugeenojibwaynation.ca/resources>

Please do not respond to this email unless you have specific follow up questions.

Miigwech,

Riel Warrilow
Resources & Infrastructure Associate
T: (519)534-5507 ex 111



10129 Hwy 6 Georgian Bluffs, ON
N0H 2T0
[saugeenojibwaynation.ca](https://www.saugeenojibwaynation.ca)

On Tue, May 31, 2022 at 1:15 PM Holly Malynyk <hmalynyk@southgate.ca> wrote:

Good afternoon,

Please find the below link for the Notice of Public Hearing for Minor Variance Application A4-22.

<https://www.southgate.ca/en/municipal-services/planning-applications-public-notice.aspx#A4-22-Stephen-and-Kendra-Verbeek>

The hearing has been scheduled for **June 22, 2022 at 9:00AM**. Comments will be received on the above notification up until the hearing date, but if possible, please forward by **June 15, 2022** for inclusion on the public agenda.

Comments can be received by:

Email: hmalynyk@southgate.ca

Fax: 519-923-9262 Attn: Holly Malynyk

Mail: Holly Malynyk Secretary-Treasurer

185667 Grey County Road 9

Dundalk, ON N0C 1B0

Thank you for your attention to this matter.

Holly Malynyk

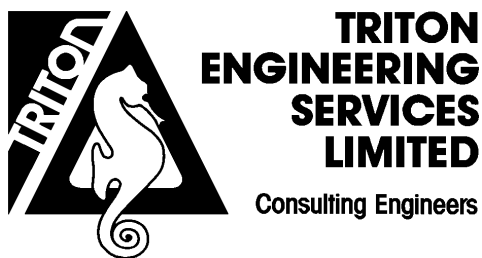
Administrative and Legislative Assistant

Township of Southgate

185667 Grey County Road 9, Dundalk, ON N0C 1B0

519-923-2110 ext. 233 | Fax 519-923-9262

hmalynyk@southgate.ca | www.southgate.ca



Memorandum

DATE: July 13, 2022
TO: Will Verwey
Cc. Jim Ellis & Clint Stredwick
FROM: Dustin Lyttle
RE: Site Plan Application
250 Doyle St., Dundalk
Submission No.3
Engineering Review Memo
FILE: A4178A

Submitted Items:

- Site Plan for Zeke Verbeek, Part of Mill Block 1, Registered Plan 480, Village of Dundalk, Municipality of Southgate, County of Grey, Revision No. 1, dated June 28, 2022, prepared by Van Harten Surveying Inc.

Submission No.1 Comments:

General:

1.1 – 1.10 **Addressed.**

- 1.11 Sediment/erosion controls are to be implemented as necessary to contain sediment on the subject property. **Pending; silt fencing is to be indicated.**
- 1.12 Storm service(s) are to be provided. *Note: If both units are equipped with a sump pump, then two Storm Services are required. Pending, storm service for 260 Doyle can be provided by connecting to the existing double catchbasin. Storm service for 250 Doyle can be provided by connecting to the culvert.*
- 1.13 **Addressed.**

Driveways & Entrances:

1.14 – 1.17 **Addressed.**

Water Servicing:

- 1.18 Details regarding the curb-stops are to be indicated on the plans. Individual Curb-stops are to be provided for each unit and located at (or near) road property line. Note: it is preferred that curb-stops not be provided in the driveway. **Pending; frost collars are to be installed on curb stops if they are to be installed in the driveway.**
- 1.19 – 1.21 **Addressed.**

Current Submission Comments:

- 2.1 Sanitary and water services are to split within the Municipal ROW. Clean-outs and curb-stops are to be provided at the property line.
- 2.2 Indicate sidewalk restoration details as per Southgate MSS and reference appropriate OPSD.
- 2.3 Update key plan to match with applicable site.
- 2.4 Additional grades and section are to be provided between proposed driveway and neighbouring property to the east (20 Grey St.). What is the intent of the curb provided?

If you have any questions, please contact us.

Uldis Lieknins
20 Grey Street E.
Dundalk, On
N0C1B0

July 18, 2022

To Whom it May Concern:

I, Uldis Lieknins of 20 Grey Street E., Dundalk, who's property backs onto Steven and Kendra Verbeek's property at 250 Doyle Street agree to accept the Verbeek's putting in a culvert on their property where it meets with mine.

Please call me at [REDACTED] should you require any further information regarding this letter.

Thanks,
[REDACTED]

Uldis Lieknins

Staff Report PL2022-044

Title of Report: PL2022-044-A4-221 Verbeek

Department: Planning Department

Date: June 15, 2022

Application: Minor Variance Application A4-22 – Verbeek

Location: Plan 480 Part Mill Block 1 RP16R10863 Part 2, Geographic Village of Dundalk) in the Township of Southgate

Recommendation:

Be it resolved that the Committee of Adjustment receive Staff Report 2022-044 for information; and

That the Committee of Adjustment approve the minor variance to reduce the frontage requirements for a semi detached lot from 10m to 7m.

Subject Property:

Legally known as Plan 480 Pt Mill BLK 1 RP16R10863 Part 2 (Geographic Village of Dundalk) in the Township of Southgate (see the key map below). Also described as 250 Doyle Street



Application Brief

The subject lands were zoned for a semi detached dwelling to be constructed on and rented. The initial plan for this lot never contemplated creating a new lot for each of the two halves of the semi detached structure. The applicants have constructed the semi detached dwelling but now wish to create individual lots for each half of the semi detached unit.

The Variance specifically is to vary the provisions of section 10.3(a) allowing for a reduction of the 10m frontage requirement for a semi detached structure to 7m to allow for the creation of a semi detached lot. All other provisions of the bylaw shall apply.

Applications for a variance to the Zoning By-law must be consistent with the Provincial Policy Statement and satisfy Section 45 (1) of the Planning Act.

Provincial Policy Statement (PPS)

The PPS provides guidance for comprehensive planning decisions at the provincial, county and local levels but does not address specific development provisions at the local level. The intent of the PPS as it applies to the Township of Southgate is to encourage growth and development that is suitable to the area. The proposed minor variance is to permit a reduction of the required frontage for a semi detached lot from 10m to 7m.

The proposed lot creation will not change the fact that there is a semi detached structure there, only the ownership arrangement of the lands. The proposed variance is consistent with the Provincial Policy Statement.

Minor Variance

For a successful variance, the following tests of Section 45(1) of the Planning Act must all be satisfied:

1. The variance must be minor in nature.

The reduction of the frontage requirement from 10m to 7m is a relatively minor issue as it will not significantly change the character of the street. Like wise the creation of a lot line will not change what is visible from the street.

In the opinion of staff the proposal is minor in nature and meets this test.

2. It must be desirable for the appropriate development or use of the land, building or structure.

The creation of a lot for a semi detached residential structure is appropriate and desirable use of the land. With some conditions such as the relocation of the hydro pole the proposal is appropriate and desirable for the area. The proposal meets this test.

3. It must maintain the general intent and purpose of the Official Plan.

The subject lands are designated 'as Neighbourhood area' within the Township Official plan which permits residential development such as this.

The Official Plan speaks to development such as lot creation being on full services and is regarded as infill development. Infill development is considered the creation of up to 4 lots.

The proposal is consistent with the policies of the Official Plan and meets this test.

4. It must maintain the general intent and purpose of the zoning by-law.

The subject lands are zoned 'R3' within the Township of Southgate Zoning By-law No. 19-2002, as amended. The R3 zone permits a semi detached dwelling unit. The structure currently complies with the bylaw if the intent is to rent the units. However if the units are to be sold as free hold units the bylaw requires a minimum lot frontage of 10m for each unit. The proposed consent would not provide that amount of frontage. The amount of frontage proposed is 8m and 7m of reach residential unit of the semi detached structure.

The intent of the 10m road frontage is to provide sufficient room for an entrance that also allows for a side yard setback of at least 2m. A drive way and side yard setback can still be provided in accordance with the by-law. The lots are both sufficiently large and deep to provide outside amenity areas.

Based on the above considerations, it is staffs opinion that the reduction of the 10m frontage requirement to 7m still meets the intent of the by-law of being able to provide sufficient lot width to accommodate the required side yard setback and still provide a driveway and sufficient amenity space for each residential lot.

A public hearing is scheduled for June 22, 2022 at 9am. to hear comments from the public. Comments from Public and Agencies received to date include the following:

Bell Canada has no concerns or comments at this time.

The County of Grey has no concerns provided positive comments are received from the Conservation Authority.

Enbridge Gas No Concerns with the subject application

The GRCA has no concerns

Hydro One has no concerns

Historic Saugeen Metis have no concern with this application.

Public works indicate: A curb cut is required. Storm water to be done as per submitted drainage plan. The Hydro pole is to be relocated from middle of driveways

All site works at the owner's expense. Road & sidewalk damages from contractors' excavator from servicing 2021 will be repaired as noted last year at the owners expense.

No Comments have been received from members of the public in relation to this particular development.

Summary

The comments received to date support the proposal and the application passes the four tests required by the Planning Act. Provided that there are no negative comments received from members of the public it is recommended that the minor variance application be approved.

Respectfully submitted,

Original Signed By

Clinton Stredwick, BES MCIP RPP
Township Planner

ATTACHMENTS:

1. A4-22 – Site Sketch

LEGEND:

—□—	DENOTES SURVEY MONUMENT SET		DECIDUOUS TREE
—■—	DENOTES SURVEY MONUMENT FOUND		CONIFEROUS TREE
IB	DENOTES .015 X .015 X 0.60 IRON BAR		TO BE REMOVED
SIB	DENOTES .025 X .025 X 1.20 STANDARD IRON BAR		
SSIB	DENOTES .025 X .025 X 0.60 SHORT STANDARD IRON BAR		
MTE	DENOTES MTE ONTARIO LAND SURVEYORS LTD.		
892	DENOTES J. G. FLAHERTY, O.L.S.		
982	DENOTES H. R. WHALE, O.L.S.		
P1	DENOTES DEPOSITED PLAN 61R-22110		
T/C	DENOTES TOP OF CURB		
T/W	DENOTES TOP OF WALL		
RWALL	DENOTES RETAINING WALL		
GAS LINE			
OVERHEAD HYDRO			
CENTERLINE OF ROAD			
WATER LINE			
SANITARY SEWER			
STORM SEWER			
DIRECTION OF FLOW			
SILT FENCING			
PROPOSED CULVERT			
EXISTING ELEVATION			
PROPOSED ELEVATION			
GAS METER			
HYDRO METER			
HYDRO POLE			
DOWNSPOUT			
SUMP PUMP/DISCHARGE			
WATERVALVE			
SANITARY CLEAN-OUT			
PROPOSED CBMH			

NOTES:

- MATCH TO EXISTING GRADE AT ALL LOT LINES. ATTEMPTS ARE TO BE MADE TO ENSURE ANY ABUTTING LOTS WITH DRAINAGE OUTLETING ONTO THE SUBJECT PROPERTY WILL CONTINUE TO DO SO.
- THE OWNER ACKNOWLEDGES THAT THE PROPOSED GRADING DOES NOT MEET TOWNSHIP STANDARDS. DUE TO CONSTRAINTS OF THE ELEVATIONS OF THE ABUTTING LOTS, MINIMAL SLOPE IS AVAILABLE TO CREATE SURFACE RUN-OFF. THE DESIGN MAKES EVERY ATTEMPT TO PROVIDE AN OUTLET FOR THE SURFACE DRAINAGE. PONDING AND SLOW DRAINAGE RUN-OFF MAY OCCUR FROM TIME TO TIME.
- DOWNSPOUTS TO DISCHARGE TO SWALES AND CANNOT BE REDIRECTED TOWARDS ABUTTING DWELLINGS.
- DRIVEWAY TO BE CONSTRUCTED WITH MINIMUM 150mm GRANULAR 'A' BASE, 150mm GRANULAR 'B' SUB BASE.
- BUILDER IS RESPONSIBLE TO COORDINATE WITH HYDRO, GAS AND OTHER UTILITIES.
- PROPOSED 3:1 SLOPES AND 2:1 SLOPES MAY BE REDUCED OR SUPPLEMENTED WITH LANDSCAPE WALLS AT THE DISCRETION OF THE BUILDER.
- DRIVEWAY TO BE CURBED (MIN. 0.15m HIGH) AND PROPOSED 2:1 SLOPE TO EXISTING DITCH.
- DRIVEWAY RAMP (WITHIN MUNICIPAL RIGHT-OF-WAY) TO BE ASPHALT (MIN. 50mm HL3)
- ALL DISTURBED AREAS TO BE TOPSOILED (200mm MIN.) AND SODDED/SEEDED. WITHIN THE MUNICIPAL RIGHT-OF-WAY, SOD IS REQUIRED.
- WRITTEN PERMISSION FROM THE ABUTTING PROPERTY OWNER IS REQUIRED IF GRADING EXTENDS ONTO THEIR LANDS.
- RESTORE SIDEWALK AND CURB AS REQUIRED AS PER SOUTHGATE MSS AND OPSD 310.020, 310.050 (SIDEWALK) AND 600.040 (CURB).

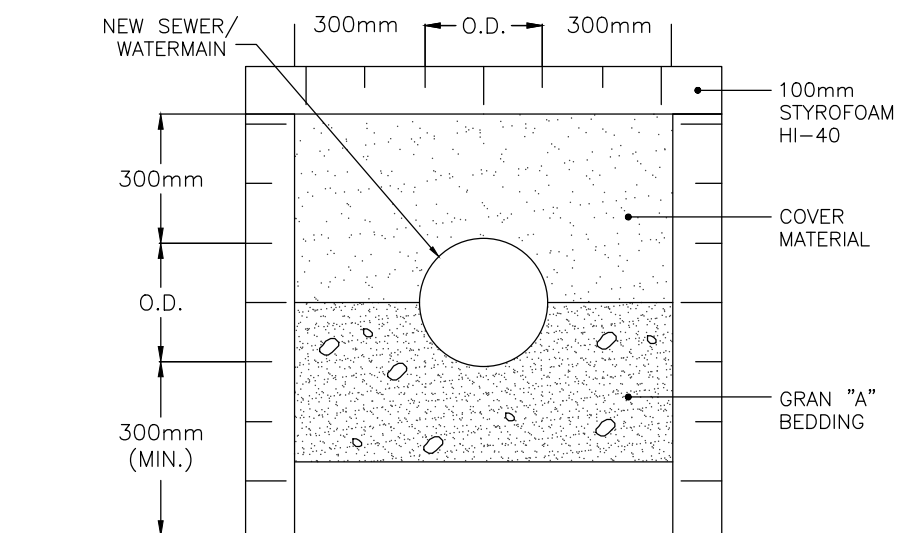
SEDIMENT AND EROSION CONTROL NOTES:

- ALL SILT FENCING TO BE INSPECTED AND INSTALLED PRIOR TO THE COMMENCEMENT OF ANY GRADING OR EXCAVATING.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ANY ADDITIONAL EROSION CONTROL MEASURES.
- ALL EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED BY RESTORATION OF GROUND COVER.
- ANY DISTURBED AREAS NOT UNDER ACTIVE CONSTRUCTION ARE TO BE STABILIZED WITH TOPSOIL AND SEED/SOD.
- ANY MUD/DEBRIS TRACKING ONTO MUNICIPAL ROAD ALLOWANCES WILL BE CLEANED UP BY THE END OF THE WORK DAY (DAILY).

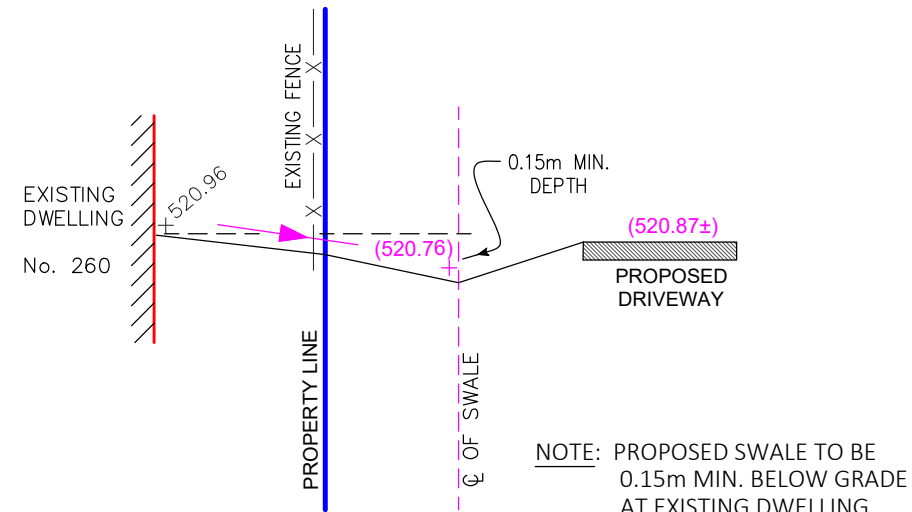
SERVICING NOTES:

- SUMP PUMPS TO DISCHARGE TO GRADE.
- IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT THE PROPOSED UNDERSIDE OF FOOTING WILL ALLOW A GRAVITY SANITARY SEWER CONNECTION.
- THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY AND BASED ON ENGINEERING DRAWINGS P2, GEN, LGR2 AND XS BY WMI & ASSOCIATES LTD, AND ADDITIONAL LOCATES BY SCOTT BETTS.
- PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.
- 1.0m MINIMUM SEPARATION BETWEEN SEWER (SANITARY AND STORM) AND WATER SERVICE CONNECTIONS.
- WATER SERVICE (PRIVATE SIDE) IS 25mm DIA. (1" O.D., 7/8" I.D.) IPEX BLUE 904 POLY.
- SANITARY SERVICE (PRIVATE SIDE) IS 100mm DIA. PVC SDR.28 AT 2.0% MIN. MINIMUM SLOPE. CLEAN OUTS LOCATED AS SHOWN.
- WATER SERVICE TO BE INSULATED IF LESS THAN 2.0m GROUND COVER IS PROVIDED.
- ALL WORKS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE TO BE COMPLETED IN CONFORMANCE WITH TOWNSHIP MUNICIPAL SERVICING STANDARDS AND APPLICABLE OPSPS/OPSDs. A LIST OF ALL MATERIALS, FIXTURES AND APPURTENANCES IS TO BE SUBMITTED TO THE TOWNSHIP FOR REVIEW/APPROVAL PRIOR TO INSTALLATION.

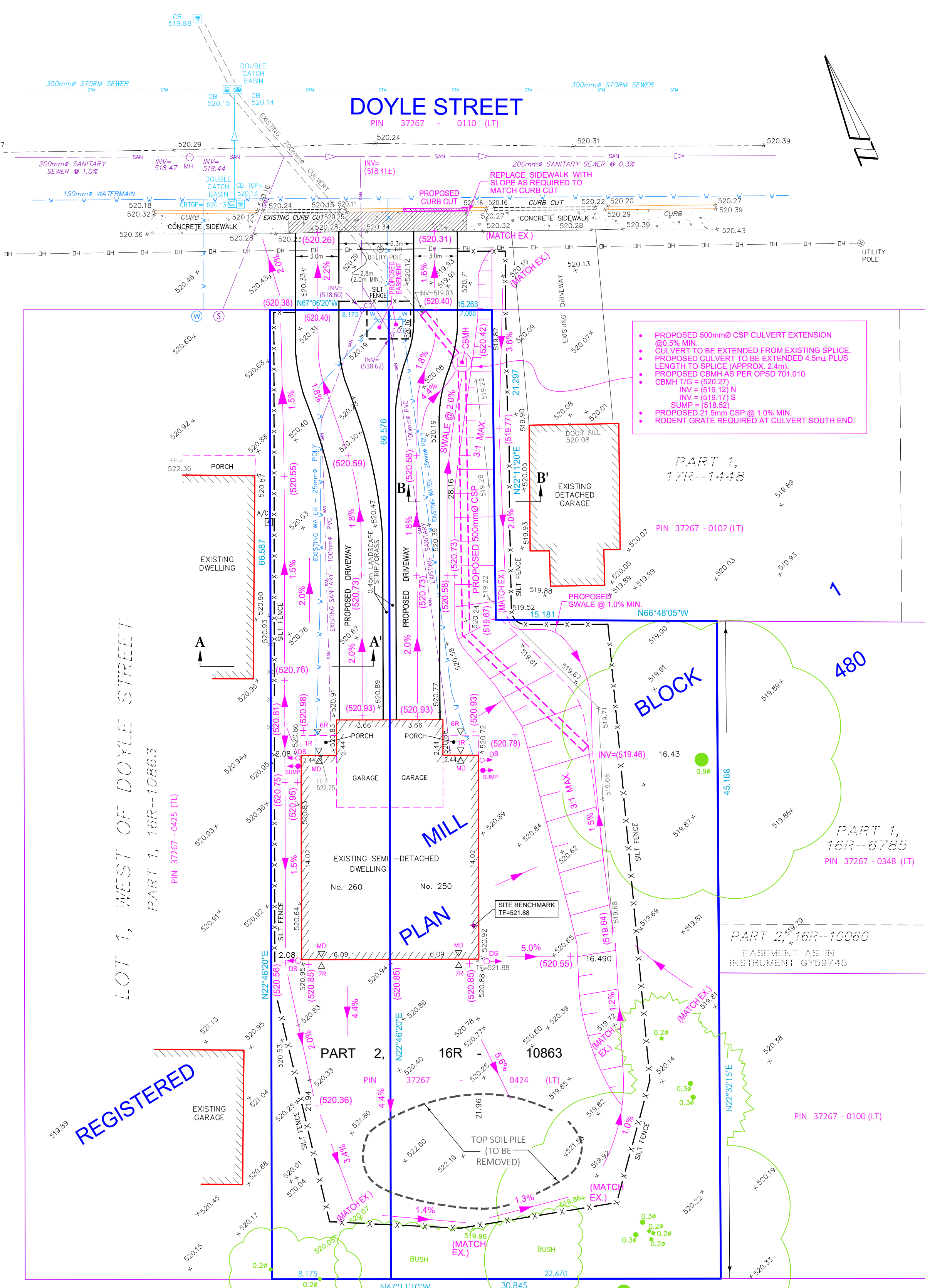
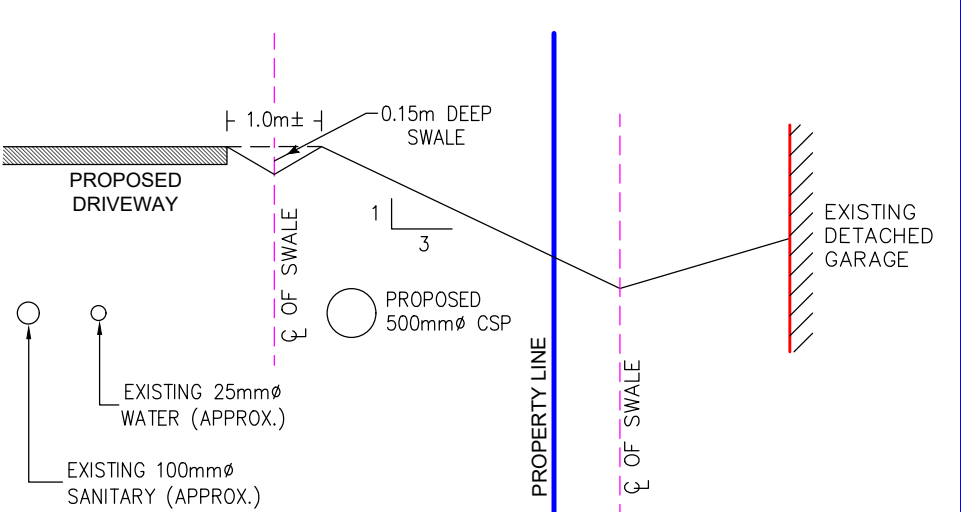
TYPICAL PIPE INSULATION DETAIL



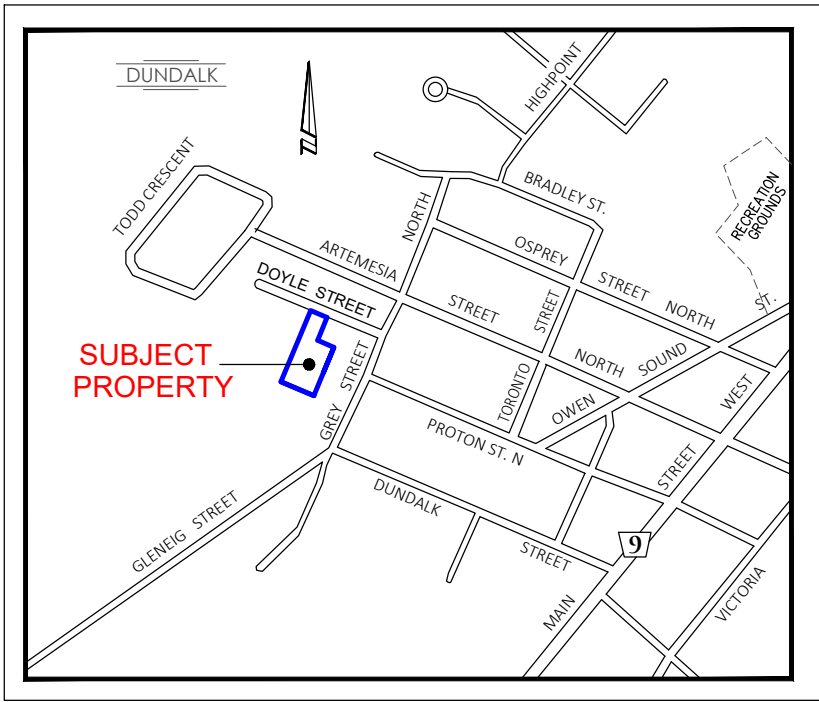
CROSS-SECTION A-A' N.T.S.



CROSS-SECTION B-B' N.T.S.



KEYMAP:



PROPERTY DESCRIPTION:

- PIN 37267-0424 (LT) & PIN 37267-0425(LT)
- ADDRESS: 250 & 260 DOYLE ST, DUNDALK
- PART OF MILL BLOCK 1, REGISTERED PLAN 480, GEOGRAPHIC VILLAGE OF DUNDALK, TOWNSHIP OF SOUTHGATE, COUNTY OF GREY

BEARING AND COORDINATE NOTE:

- BEARINGS ARE GRID BEARINGS AND ARE DERIVED FROM GPS OBSERVATIONS AND ARE REFERRED TO THE UTM PROJECTION, ZONE 17, NAD 83 (CSRS-2010) ADJUSTMENT.
- DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY AN AVERAGED COMBINED SCALE FACTOR OF 0.995447.
- COORDINATES ON THIS PLAN ARE UTM, ZONE 17, NAD83 (CSRS-2010) ADJUSTMENT AND ARE BASED ON GPS OBSERVATIONS FROM A NETWORK OF PERMANENT GPS REFERENCE STATIONS.

ZONING: RESIDENTIAL TYPE 3 ZONE (R3)

- MINIMUM LOT AREA = 350 m²
- MINIMUM LOT FRONTAGE = 10.0 m
- MINIMUM FRONT YARD = 9.0 m
- MINIMUM INTERIOR SIDE YARD = 2.0m
- MINIMUM REAR YARD = 9.0 m
- MAXIMUM LOT COVERAGE = 40%

EXISTING DWELLING:

TOP OF FOUNDATION	= (521.88 EX.)
UNDERSIDE OF FOOTING	= (519.34)
BASEMENT FLOOR	= (519.57)
FINISHED FLOOR	= (522.25 EX.)
GARAGE CUT	= (0.95)

SURVEY INFORMATION:

BENCHMARK REFERENCE:

ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CVGD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTV2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.

SITE BENCHMARK :

BASED ON TOP OF FOUNDATION OF EXISTING DWELLING HAVING AN ELEVATION OF 521.88 METRES.

TOPOGRAPHIC SURVEY DATE:

THIS TOPOGRAPHIC SURVEY WAS COMPLETED ON THE 24th DAY OF JANUARY, 2022.

JAMES M. LAWS
ONTARIO LAND SURVEYOR



CAUTION:

- THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.
- THIS SKETCH IS PROTECTED BY COPYRIGHT. ©

METRIC:

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SITE PLAN FOR:

PART OF MILL BLOCK 1,
REGISTERED PLAN 480
BEING PARTS 1 AND 2, DEPOSITED PLAN 16R-10863
GEOGRAPHIC VILLAGE OF DUNDALK
TOWNSHIP OF SOUTHGATE
COUNTY OF GREY

DRAWING REVISION SCHEDULE

NO.	REVISION	DATE
2	EXTEND CSP CULVERT / TWP ENG. COMMENTS	JULY 20-22
1	REVISE DRIVEWAYS	JUNE 28-22
0	INITIAL SUBMISSION	APRIL 22-22

PREPARED FOR: STEVEN VERBEEK

PROJECT No. 30749-21

DRAWING SCALE 1 : 200

LAND SURVEYORS AND ENGINEERS		
Kitchener/Waterloo Ph: 519-742-8371	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
www.vanharten.com		info@vanharten.com
DRAWN BY: NCH	DESIGNED BY: WV	CHECKED BY: WV

Jul 20, 2022-11:53:55 AM
G:\DUNDALK (ALSO SEE ORANGEVILLE L)\480\ACAD\SITE PLAN PTBLOCK1 (30749-21 VERBEEK) UTM 2010 REV2.dwg



**Township of Southgate
Committee of Adjustment
Application for Minor Variance**

Instructions:

This is an application under Section 45 of the Planning Act, 1990, R.S.O. c.P. 13 as amended, for relief, as described in this application, from Zoning By-law 19-2002 (as amended).

- Please check all applicable boxes and answer all applicable questions
- Failure to provide adequate, correct information may result in your application being refused
- All measurements must be in metric units. (Imperial Units will not be accepted)
- Additional information may be attached if necessary
- Incomplete applications will be returned
- The Township reserves the right to ask for more information or clarification pertaining to this application at a later time
- Applications are not accepted without the required fees \$1267 (\$976 application plus \$111 sign fee and if required, \$180 SVCA fee) in cash or by cheque made payable to the Corporation of the Township of Southgate.

For office use only:

File No. A-5-22

Pre-Consult

Date:

Date received: June 14 2022

Accepted by:

Roll #42 07 090-002-16000

Conservation Authority Fee

Required: _____

Official Plan: _____

Property's Zone: _____

Other Information: _____

It is strongly advised that any potential applicant pre-consult with the Planning Department prior to submitting any planning application. This could save you money and avoid delays in processing. Staff are available to provide some assistance in completing this application and will help ensure the application is filled out completely.

The Approval Authority is the Township of Southgate Committee of Adjustment

Required Fees:

Application Fee	\$ 976.00 due with submitted application
Public Notice Sign Fee	\$ 111.00
Conservation Authority Fees	
Saugeen Valley CA	\$190.00
Grand River CA	Contact directly for details

Note on fees:

The application fees were adopted and approved under the Township of Southgate's fees and charges By-law.

All required application fees shall be paid in cash or by cheque made payable to the Township of Southgate at the time of submission of the application.

Please review the required Conservation Authority fees prior to submitting your application. Saugeen Valley Conservation Authority requires their fee to be submitted to the Township of Southgate along with this application. Make this payment out to the Saugeen Valley Conservation Authority.

In the event that all fees are not paid in full at the time of submission, the application shall be deemed incomplete.

Township of
Southgate

JUN 15 2022

PAID

1. Name of Owner/Applicant (circle one) * Onias Martin (mort or p)
Address 192489 Southgate SEd 19
Postal Code NOC 1B0 Telephone Number [REDACTED]

***See Note 1**

2. Name of Agent* _____
Address _____
Postal Code _____ Telephone Number _____

**** See Note 2**

3. Nature and extent of relief applied for: minor varaince to build
shed to existing barn

4. Why is it not possible to comply with the provisions of the by-law? barn hill to north
manure storage to east / no room on south side.

5. Legal description of subject land (registered plan number and lot number or other legal description, and, where applicable, street and street number):

192489 Southgate SEd 19 Con 13N PT Lots 28/29
100 acres.

6. Dimensions of land affected in metric units:

Frontage: 1662' Area: 100 acres.
Depth: 2663' Width of Street: _____

7. Particulars of all buildings and structures on or proposed for the subject land (specify, in metric units) the ground floor area, gross floor area, number of storeys, width, length, height, etc.):

Existing: _____
see attached drawings.

Proposed: _____

8. Location of all buildings and structures on or proposed for the subject land (specify distance from side, rear and front lot lines):

Existing: _____
see attached drawings.

Proposed: _____

9. Date of acquisition of subject land: March 2017
10. Date of construction of all buildings and structures on subject land:
shop 2015 house 2016 barn existing.
11. Existing uses of the subject property:
farm / shop
12. Existing uses of the abutting properties:
- North: farmland East: farmland
South: farmland West: farmland
13. Length of time the existing uses of the subject property have continued:
since 2016
14. Water is provided to the subject land by a:
- ☐ publicly owned and operated piped water system
☒ privately owned and operated individual or communal well
☐ lake or other water body or other means (please explain)
15. Sewage disposal is provided to the subject land by a:
- ☐ publicly owned and operated sanitary sewage system
☒ privately owned and operated individual or communal well
☐ privy or other means (please explain)
16. Storm drainage is provided by (check applicable):
- Sewers: _____ Ditches _____ Swales: _____
Other means (please explain) natural runoff.
17. Present Official Plan designation on the subject lands: Ag + EP.
18. Present Zoning By-law provisions applying to the land: A1-344, A1, EP
19. Has the subject land ever been the subject of an application for minor variance (under Section 45 or its predecessor of the Planning Act)
Yes ☐ No ☐
- If the answer is yes, describe briefly (i.e. date of application, file number, nature of relief, etc.)

20. Is the subject property the subject of a current application for a plan of subdivision or consent under Section 51 or 53 of the Planning Act?
Yes ☐ No ☐

Sketch Instructions:

Each copy of this application must be accompanied by a sketch or survey showing the following:

- (i) The boundaries and dimensions of the subject land.
- (ii) The location, size and type of all existing and proposed buildings and structures on the subject land, indication the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
- (iii) The current uses and location of all existing buildings and/or structures on the adjacent lands. (indicate the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines).
- (iv) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks.
- (v) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (vi) If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- (vii) The location and nature of any easement affecting the subject land.

21. Owners authorization and declaration:

Authorization for agent

I/we Onias Martin
(print name or names)

authorize _____
(print name of agent)

to act as our agent(s) for the purpose of this application

[Redacted Signature]
(Signature of Owner)

June 13 / 2022
(date)

(Signature of Owner)

(date)

22. Owners authorization for access:

I/we [Redacted Signature] Onias Martin
(print name or names)

hereby permit Township staff and its representatives to enter upon the premises during regular business hours for the purpose of performing inspections of the subject property.

[Redacted Signature]
(Signature of Owner)

June 13 / 2022
(date)

(Signature of Owner)

(date)

23. Affidavit or sworn declaration :

Note: This Affidavit must be signed in the presence of a Commissioner of Oaths.

I/ (We) Onis Hru
Name of Owner(s) or Authorized Agent or Applicant

of the Township of Southgate in the County of Grey
city/town/municipality county/region

Solemnly declare that all statements contained in this application and all the information provided is true, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the CANADA EVIDENCE ACT.

Declared before me at the:

Township of Southgate in the County of Grey
city/town/municipality county/region

This 14 day of June, 2022.


Signatures of Owner

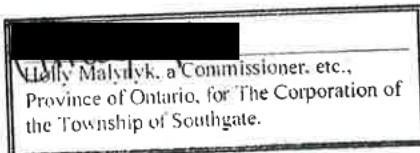
June 14, 2022.
Date

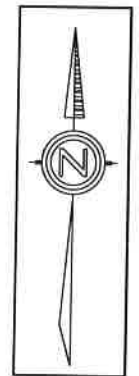
Signatures of Owner

Date


Signature of Commissioner

June 14 2022.
Date





Project Title ; Shed Addition	
Property Owner; Onias B Martin Phone; 519-501-8919	
Property Address; 192486 Southgate Side Rd 19 Dundalk	
NOC 1B0	
Drawing Title: S3 - Site Plan	
Drawing Scale; 0.013" = 1'-0"	Page; 3 of 5
Drawn By: AMB	2022-04-22



**THE CORPORATION OF THE TOWNSHIP OF SOUTHGATE
COMMITTEE OF ADJUSTMENT**

**NOTICE OF APPLICATION AND PUBLIC HEARING
FOR MINOR VARIANCE FILE # A5/22**

PROPERTY LOCATION: legally known as Con 13 N Pt Lots 28 & 29 (Geographic Township of Proton) in the Township of Southgate (see the key map below). Also described as 192489 Southgate Sideroad 19.

TAKE NOTICE that the Committee of Adjustment of the Township of Southgate has designated:

July 27, 2022 at 9:00 AM

for the purpose of holding an **electronic hearing**, to hear the application for a Minor Variance:

File # A5-22

Electronic Access Information:

Please join the meeting from your computer, tablet or smartphone

<https://global.gotomeeting.com/join/442563645>

You can also dial in using your phone. Canada: +1 (647) 497-9373 Access Code: 442-563-645 #

NOTE: If you wish to speak at the meeting, please register in advance by contacting the Secretary-Treasurer, Holly Malynyk using the below information. The meeting will be recorded and uploaded to the Township YouTube Channel:

<https://www.youtube.com/user/SouthgateTownship>

Purpose: The variance is to vary the front yard setback provisions to allow for the addition of a shed on to an existing agricultural building closer to the front lot line. The variance will address section 6.2(d) allowing for a reduction of the 40m front yard setback for agricultural buildings to 20m. The existing building is approximately 32m from the front lot line. All other provisions of the bylaw shall apply.

Approval of this application would provide relief from the by-law to permit the shed addition to the agricultural building closer to the front lot line. The relief will specifically reduce the front yard setback for an agricultural structure from 40m to 20m.

No other related Planning Applications have been received for this property.

You are entitled to attend the hearing virtually at this time or to be represented by an agent to express your views on the merits of this application. You may also forward a letter with your views to the Committee. If you do not attend the hearing or send correspondence regarding this file, the Committee will proceed in your absence and you are not entitled to any further notice of the proceedings.

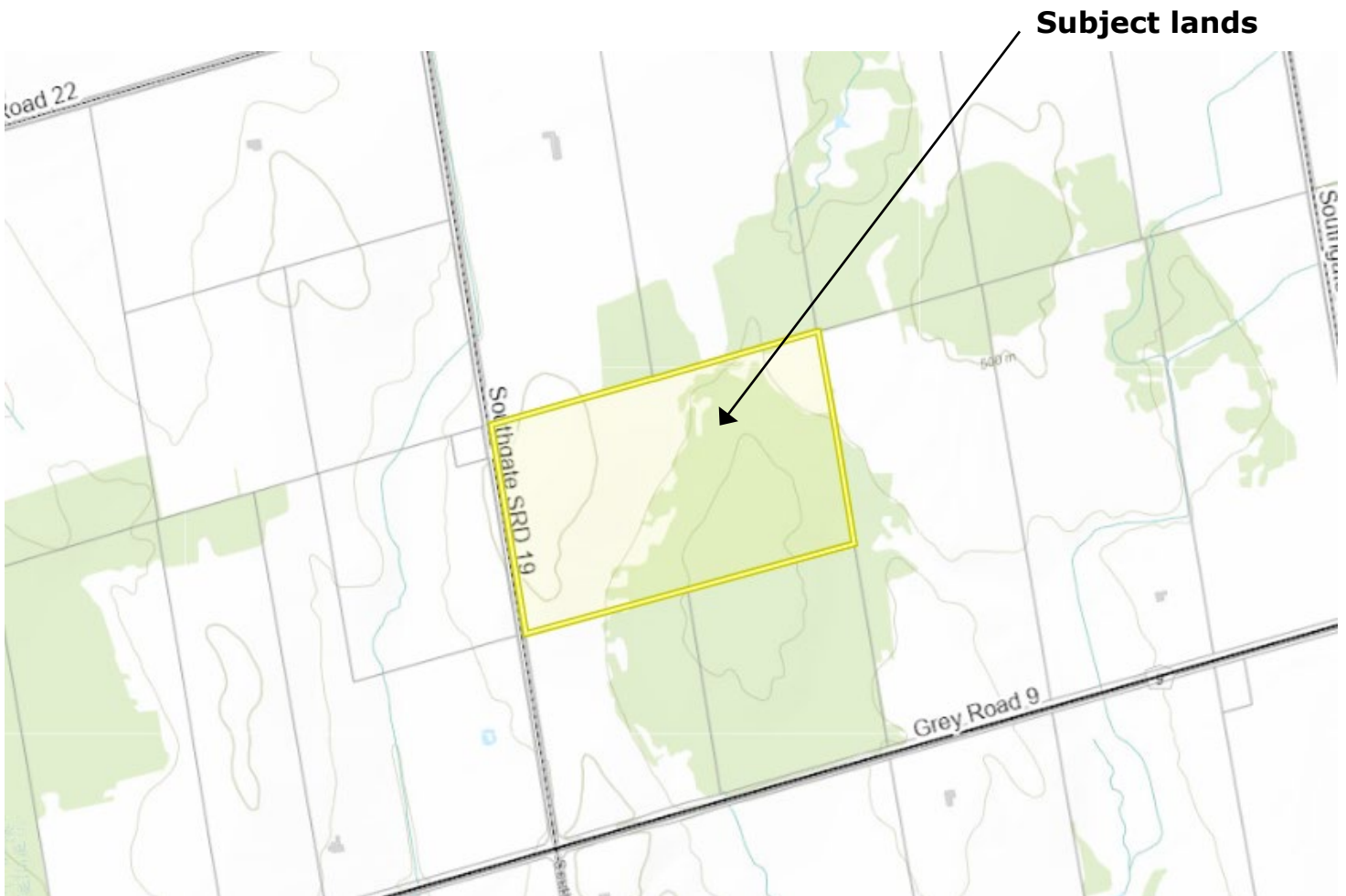
Please note that all submissions will become part of the public record in their entirety and may be posted to Southgate's website.

A copy of the Notice of Decision will be sent to the applicant and each person who appeared or was represented by an agent at the hearing **and** who has filed a written request for notice of the decision.

ADDITIONAL INFORMATION regarding this application is available for public viewing during office hours at the address below or on the Township Website at: <https://www.southgate.ca/en/municipal-services/planning-applications-public-notices.aspx#A5-22-Martarp-Inc-Onias-Martin->

Township of Southgate
185667 Grey Rd. 9,
Dundalk, ON N0C 1B0
(519) 923-2110 ext. 233
Toll Free: 1-888-560-6607

DATED AT THE TOWNSHIP OF
SOUTHGATE
THIS 7th DAY OF July 2022
Holly Malynyk,
Secretary-Treasurer
Committee of Adjustment





From: planning@grey.ca
To: [Planning Southgate](#); [Lindsey Green](#); [Holly Malynyk](#)
Subject: County comments for A5-22 Martarp Inc
Date: July 20, 2022 10:25:12 AM

County comments for A5-22 Martarp Inc

Hello Southgate,

Please note that County Staff have reviewed Minor Variance application A5-22, Martarp Inc - Onias Martin.

The subject lands contain Significant Woodlands. It is recommended that further comments be received by the Conservation Authority.

It is further recommended that comments be received by Southgate Roads staff to ensure that the proposed structure would not bias any future expansion of the existing road allowance.

Provided positive comments are received by SVCA and Southgate Roads staff, the County has no further concerns.

We kindly request Notice of Decision on this application.

Please note, a paper copy will not be provided unless requested.

Let us know if you have any questions.

Best regards,

Becky Hillyer

County of Grey, Owen Sound, ON

From: [Coordinator LRC HSM](#)
To: [Holly Malynyk](#)
Subject: Request for Comments - Southgate (Martarp Inc.) - proposed Minor Variance application
Date: July 13, 2022 11:07:00 AM

Southgate Municipality

RE: A5-2022

The Historic Saugeen Métis (HSM) Lands, Resources and Consultation Department has reviewed the relevant documents and have no objection or opposition to the proposed Minor Variance application as presented.

Thank you for the opportunity to review this matter.

Regards,

Chris Hachey

Coordinator, Lands, Resources & Consultation
Historic Saugeen Métis
email: hsmlrcc@bmts.com
phone: 519-483-4000
site: saugeenmetis.com
address: 204 High Street Southampton, ON

This message is intended for the addressees only. It may contain confidential or privileged information. No rights to privilege have been waived. Any copying, retransmittal, taking of action in reliance on, or other use of the information in this communication by persons other than the intended recipients(s) is prohibited. If you have received this message in error, please reply to the sender by e-mail and delete or destroy all copies of this message.

Township of Southgate

185667 Grey County Road 9,
Dundalk, ON N0C 1B0

Jim Ellis,

Public Works Manager / Risk Management Official
jellis@southgate.ca



Phone: 519-923-2110 ext. 250

Toll Free: 1-888-560-6607

Fax: 519-923-9262

Cell: 519-378-3777

Public Works Department

Date: July 8, 2022

File No.: A5-22

Can a safe access be provided? Yes ☒ No ☐

Road Drainage Concern: None

Road Standard: Rural gravel

Road Widening Necessary? Yes ☐ No ☒

Entrance Requirements: None

Load Restricted Road: Yes ☒ No ☐

Comments: _____

Risk Management Office

Property is located in a Well Head Protection Area:

- ☐ WHPA "A"
- ☐ WHPA "B"
- ☐ WHPA "C"
- ☐ WHPA "D"
- ☒ Not Applicable

Comments: _____

Signed: _____

Jim Ellis, Public Works Manager / Risk Management Official

SENT ELECTRONICALLY ONLY: hmalynyk@southgate.ca

July 21, 2022

Township of Southgate
185667 Grey Road 9
RR 1
Dundalk, Ontario N0C 1B0

ATTENTION: Holly Malynyk, Administrative and Legislative Assistant

Dear Ms. Malynyk,

RE: Proposed Minor Variance A5-22 (Martarp Inc., Onias Martin)
192489 Southgate Sideroad 19
North Part Lots 28 and 29 Concession 13
Roll No.: 420709000216000
Geographic Township of Proton
Township of Southgate

Saugeen Valley Conservation Authority (SVCA) staff has reviewed the above-noted application as per our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS, 2020) and as a regulatory authority under Ontario Regulation 169/06 (SVCA's Development, Interference with Wetlands, and Alterations to Shorelines and Watercourses Regulation). SVCA staff has also provided comments as per our Memorandum of Agreement (MOA) with the Township of Southgate representing natural hazards, and natural heritage. Furthermore, the application has been reviewed through our role as a public body under the *Planning Act* as per our Conservation Authority Member approved Environmental Planning and Regulations Policies Manual, amended October 16, 2018.

Purpose

The purpose of the minor variance is to vary the front yard setback provisions to allow for the addition of a shed on to an existing agricultural building closer to the front lot line. The variance will address section 6.2(d) allowing for a reduction of the 40m front yard setback for agricultural buildings to 20m. The existing building is approximately 32m from the front lot line. All other provisions of the bylaw shall apply.

Recommendation

The proposed minor variance application is acceptable to SVCA staff.

Delegated Responsibility and Advisory Comments

SVCA staff has reviewed the applications through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS,

2020). We have also reviewed the application through our responsibilities as a service provider to the Township of Southgate in that we provide expert advice and technical clearance on *Planning Act* applications with regards to natural hazards, and natural heritage as set out in the PPS, 2020, County Official Plan (OP) and/or local official plans. Comments below only include features/technical requirements affecting the property.

Natural Hazards:

The natural hazard features affecting the property include wetlands/swamps. The wetlands/swamps on the property have been identified as part of the Ventry Swamp locally significant wetlands. The wetlands and an offset distance are mapped Hazard Lands in the Grey County OP and Township of Southgate OP, and zoned EP (Environmental Protection) in the Township of Southgate Zoning By-law. The Hazard Land designation and the EP zone generally coincide with the SVCA Hazard Land mapping for the property.

Provincial Policy Statement – Section 3.1

Section 3.1.1 of the PPS, 2020 states in part that development shall generally be directed to areas outside of hazardous lands and hazardous sites. It is the opinion of SVCA staff that the application is consistent with Section 3.1.1 of the PPS, 2020.

Township of Southgate Official Plan and Grey County Official Plan

Section 6.2 of the Southgate OP and Section 7.2.3 of the Grey County OP states in part that buildings and structures are generally not permitted in the Hazard Lands land use type. It is the opinion of SVCA staff that the application is consistent with the natural hazard policies of the Southgate OP and the Grey County OP.

Natural Heritage:

Based on SVCA desktop review, it is the opinion of SVCA staff that the natural heritage features affecting the property include significant woodlands, significant wetlands, potentially significant wildlife habitat, and potentially habitat of endangered species and threatened species.

Provincial Policy Statement – Section 2.1

Section 2.1 of the PPS, 2020 states in part that development shall not be permitted in significant woodlands, significant wetlands, significant wildlife habitat, habitat of endangered species and threatened species, and the adjacent lands to the above referenced features except in accordance with the specified policies found in Section 2.1.

Township of Southgate Official Plan and Grey County Official Plan Policies

Significant Woodlands

Significant woodlands are identified as per Appendix B Constraint Mapping of the Grey County OP and are shown to cover the woodlands on the property. Section 7.4.1 of the Grey County OP states in part that no development or site alteration may occur within significant woodlands or its adjacent lands unless it has been demonstrated by an Environmental Impact Study (EIS) that there will be no impact on the feature or its ecological functions. Based on the site plan submitted with the application, proposed development will not be located within the woodlands or their adjacent lands, therefore, addressing the significant woodlands is not required for this proposal at this time.

Significant Wetlands

Although not mapped as provincially significant, but rather as locally significant, part of the Ventry Swamp wetland complex is located on the property. Section 7.3.2 of the Grey County OP states in part that no development or site alteration may occur within wetlands or their adjacent lands unless it has been demonstrated, that there will be no negative impacts on the natural features or their ecological functions. Based on the site plan submitted with the application, proposed development will not be located within the wetlands/swamps or their adjacent lands, therefore, addressing the wetlands/swamps is not required for this proposal at this time. At the next update to the Grey County OP, SVCA staff recommend that for this property. the Ventry Swamp wetlands be added to the other wetlands mapping as shown in Appendix B of the Grey County OP.

Significant Wildlife Habitat

While there is no County-wide mapping of significant wildlife habitat, it has come to the attention of SVCA staff that significant wildlife habitat may be located on and/or on lands adjacent to the property. The Grey County OP states in part that development and site alteration shall not be permitted within significant wildlife habitat, unless it has been demonstrated that there will be no negative impacts to the habitat or its ecological functions. It is the opinion of SVCA staff that the preparation of an EIS to address impacts to significant wildlife habitat is not warranted at this time as development as proposed is likely to have a negligible impact to significant wildlife habitat, as based on the site plan submitted with the application, proposed development will be located in the existing farmstead area.

Threatened and Endangered Species

It has come to the attention of SVCA staff that habitat of endangered species and threatened species may be located on and/or adjacent to the property. The SVCA role is to identify habitat through a screening process in consideration of the PPS and local policies, however, it is the responsibility of the applicant to ensure the endangered species and threatened species policy referred to in the PPS and the local policies have been appropriately addressed. Please contact the Ministry of Environment, Conservation and Parks (MECP) for information on how to address this policy. MECP inquiries can be addressed to SAROntario@ontario.ca.

Statutory Comments

SVCA staff has reviewed the application as per our responsibilities as a regulatory authority under Ontario Regulation 169/06 (SVCA's Development, Interference with Wetlands, and Alterations to Shorelines and Watercourses Regulation). This regulation, made under Section 28 of the *Conservation Authorities Act*, enables SVCA to regulate development in or adjacent to river or stream valleys, Great Lakes and inland lake shorelines, watercourses, hazardous lands and wetlands. Subject to the CA Act, development taking place on or adjacent to these lands may require permission from SVCA to confirm that the control of flooding, erosion, dynamic beaches, pollution or the conservation of land are not affected. SVCA also regulates the alteration to or interference in any way with a watercourse or wetland.

A large portion of the property is within the SVCA Approximate Screening Area associated with Ontario Regulation 169/06. As such, development and/or site alteration within the Approximate Screening Area requires the permission from SVCA, prior to carrying out the work.

"Development" as defined under the Conservation Authorities Act means:

- a) the construction, reconstruction, erection or placing of a building or structure of any kind;*
- b) any change to a building or structure that would have the effect of altering the use or potential use of the building or structure, increasing the size of the building or structure or increasing the number of dwelling units in the building or structure;*

- c) *site grading; or,*
- d) *the temporary or permanent placing, dumping or removal of any material, originating on the site or elsewhere.*

And;

“Alteration” as per Section 5 of Ontario Regulation 169/06 generally includes the straightening, diverting or interference in any way with a river, creek, stream or watercourse, or the changing or interfering in any way with a wetland.

To determine the SVCA Approximate Screening Area on the property, please refer to the SVCA’s online mapping program, available via the SVCA’s website at <http://eprweb.svca.on.ca>. Should you require assistance, please contact our office directly. For the property the SVCA Approximate Screening Area includes the larger of: the wetlands/swamps located on the property as well as a 30 metre offset distance outwards from the wetland edge, and/or any floodplain of the wetlands/swamps and a 15 metre offset distance outwards from the floodplain edge.

SVCA Permission for Development or Alteration

Development or alteration including construction, reconstruction, conversion, grading, filling or excavation, including agricultural tile drainage, proposed within the SVCA Approximate Screening Area on the property may require permission (SVCA Permit) prior to those works commencing. Based on the plans submitted with the application, the proposed development will be in the existing farmstead area, which is not in the SVCA Approximate Screening Area, therefore a SVCA permit is not required. no further permit is required by the SVCA at this time.

Summary

SVCA staff has reviewed this application in accordance with our MOA with the Township of Southgate, and as per our mandated responsibilities for natural hazard management, including our regulatory role under the *Conservation Authorities Act*.

Given the above comments, it is the opinion of SVCA staff that:

- 1) Consistency with Section 3.1, Natural Hazard policies of the PPS has been demonstrated.
- 2) Consistency with Section 2.1, Natural Heritage policies of the PPS has been demonstrated.
- 3) Consistency with Grey County OP and Township of Southgate policies for natural hazards and natural heritage has been demonstrated.

Please inform this office of any decision made by the Township of Southgate with regard to the application. We respectfully request to receive a copy of the decision and notice of any appeals filed. Should you have any questions, please contact the undersigned.

Sincerely,



Michael Oberle
Environmental Planning Technician
Saugeen Conservation
MO/

cc: Barbara Dobreen, SVCA Authority Member representing the Township of Southgate (via email)

Township of Southgate
Administration Office
185667 Grey Road 9, RR 1
Dundalk, ON N0C 1B0



Phone: 519-923-2110
Toll Free: 1-888-560-6607
Fax: 519-923-9262
Web: www.southgate.ca

Staff Report PL2022-054

Title of Report: PL2022-054-A5-22-Martarp Inc.
Department: Planning
Committee Date: July 27, 2022

Recommendation:

Be it resolved that the Committee of Adjustment receive Staff Report PL2022-054 for information; and

That the application for minor variance of a front yard setback of 20m for an agricultural building be approved.

Property Location:

Legally described as Con 13 N Pt of Lots 28 and 29. Municipally known as 192489 Southgate Sideroad 19 (Geographic Township of Proton) in the Township of Southgate (see the key map below).



Application Brief

Approval of this application would provide relief from the by-law to permit the shed addition to the agricultural building closer to the front lot line. The relief will specifically reduce the front yard setback for an agricultural structure from 40m to 20m.

Background

The applicants have submitted an application and it has been deemed complete and has been circulated for comment. The application and comments can be found here.

<https://www.southgate.ca/en/municipal-services/planning-applications-public-notice.aspx#A5-22-Martarp-Inc-Onias-Martin->

Comments received

The application was circulated and the comments received are as follows:

Public Works indicate the road is a rural gravel standard and no improvements are required.

The Historic Saugeen Metis have no objections to the proposal.

The County of Grey indicate that provided positive comments are received by SVCA and Southgate Roads staff, the County has no further concerns.

The SVCA find the application acceptable to SVCA staff.

No Comments from the public have been received as of writing this report.

Policy Context

Applications for a variance to the Zoning By-law must be consistent with the Provincial Policy Statement and satisfy Section 45 (1) of the Planning Act.

Provincial Policy Statement (PPS)

The PPS provides guidance for comprehensive planning decisions at the provincial, county and local levels but does not address specific development provisions at the local level. The intent of the PPS as it applies to the Township of Southgate is to encourage growth and development that is suitable to the area. The proposed minor variance is to permit a reduction of a front yard setback requirement.

The proposed use is in keeping with other land uses. The proposed variance is consistent with the Provincial Policy Statement.

Minor Variance

For a successful variance, the following tests of Section 45(1) of the Planning Act must all be satisfied:

1. The variance must be minor in nature.

The reduction of front yard setback from 40m to 20m, which is a reduction of 20m may be considered minor for the following reasons:

-The existing building does not comply with the current zoning provisions and is 32m from the front lot line and is considered a legal non complying structure.

-The addition to the barn is for the purposes of a shed for storage and not intended to be for live stock use.

-It is on a large agricultural lot and it still meets the minimum setback for other primary and accessory uses not related to agriculture.

For the above reasons it is my opinion that the minor variance is minor in nature.

2. It must be desirable for the appropriate development or use of the land, building or structure.

The addition of shed to barn in the rural area is an appropriate use of land. The proposal meets this test.

3. It must maintain the general intent and purpose of the Official Plan.

The subject lands are designated as 'agricultural' and 'Hazard lands' within the Township Official plan which permits both agricultural and accessory uses such as a shed. The placement such as setbacks is left to the Zoning by-law. The use would still comply with MDS requirements.

The proposal is consistent with the intent of the Official Plan and meets this test.

4. It must maintain the general intent and purpose of the zoning by-law.

The subject lands are zoned Agriculture (A1), Agricultural Exception (A1-344) and Environmental Protection (EP). The exception is for an on farm diversified use shop. The proposed minor variance has nothing to do with the existing on farm diversified use.

The setback required is 40m for a front yard setback for an agricultural use. It is 20m for all other uses. Because the addition is attached to an agricultural building it is considered to be part of the agricultural use. The reason for the increased setback for agricultural buildings from the front lot line is primarily related to

livestock and manure storage facilities. These uses tend to have an odour and can affect where other buildings and dwellings are situated on adjacent lots. As a result, a greater setback is required. In this case the proposed addition is not for an agricultural use that would create any MDS issues or odour issues. For this reason the proposal can be considered to meet the general intent of the zoning by-law.

Summary

The comments received to date support the proposal and the application passes the four tests required by the Planning Act. Based on the above it is recommended that the application be approved.

Respectfully Submitted,

Municipal Planner: *Original Signed By*
Clinton Stredwick, BES, MCIP, RPP



CAO Approval: *Original Signed By*
Dave Milliner, CAO

Attachments: